



Regular Meeting of the Planning Commission

Tuesday, July 9, 2019

7 pm Regular Meeting

101 14th St, Cloquet, MN 55720

AGENDA

1. Call to Order
2. Roll Call
3. Additions/Changes to the Agenda
4. Minutes from the June 11, 2019 Planning Commission meeting

-
5. Zoning Case 19-03; 14th Street Apartments, Final Plat and Site Plan
-

6. Commissioner's Questions/Comments

7. Adjourn

NEXT MEETING:

August 13th @ 7 pm



Regular Meeting of the Planning Commission

Tuesday, May 28, 2019

7:00 p.m.

1307 Cloquet Ave, Cloquet, MN 55720

CALL TO ORDER

Chairman Wilkinson called the meeting to order at 7:00 p.m.

ROLL CALL

Attending: Planning Commission members: Elizabeth Polling, Terri Lyytinen, John Sanders, Mark Cline, Philip Demers and Uriah Wilkinson; City: Al Cottingham.

Absent: None.

Others Present: Louie Bonneville.

ADDITIONS/CHANGES TO THE AGENDA

None.

AGENDA ITEMS

May 28 , 2019 Meeting Minutes

Chairman Wilkinson asked for any corrections or additions.

Motion: **Commissioner Polling made a motion to approve the Planning Commission meeting minutes from May 28, 2019, Commissioner Lyytinen seconded. (Motion was approved 6-0).**

Zoning Case 19-09: Conditional Use Permit for Louie Bonneville

Chairman Wilkinson reviewed the public hearing procedures and format and opened the public hearing for Zoning Case 19-09, Conditional Use Permit for Louie Bonneville, 1418 Fairview Avenue. Chairman Wilkinson asked Mr. Cottingham to provide an overview. Mr. Cottingham stated Mr. Bonneville is proposing a Conditional Use Permit to allow a double wide mobile home in the R2 – One- and Two-Family Residence District. He noted there was a neighbor present before the meeting who inquired if the existing home was to be torn down and if the unit was new. He was informed that the existing home would be torn down and an engineered slab poured, and a new unit would be placed on the slab. He stated Mr. Bonneville was present to answer any questions.

Mr. Bonneville stated he did not have anything to add and was there to answer any questions.



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Commissioner Sanders inquired as to the status of the garage in relation to Chapter 17.5.01 height of the accessory structure since it would probably be taller than the principal building.

Mr. Cottingham stated that the accessory structure would be grandfathered in and if ever destroyed it would need to meet the Ordinance requirements.

Commissioner Sanders inquired as to the required side yard setbacks.

Mr. Cottingham stated that the combined side yard setbacks needed to be a minimum of 15 feet with a minimum of 5 feet allowed. Since the setback to the east property line was well over 10 feet then the setback to the west property line could be as close as 5 feet.

Commissioner Cline stated he was concerned with allowing this type of dwelling in the city and the impacts they have on home values. He was concerned with the maintenance and upkeep and how they aren't as good as a stick build home.

Mr. Cottingham noted the state law was changed a number of years ago that prohibited cities from not allowing mobile homes in their cities where a single-family home was allowed.

There being no further discussion Chairman Wilkinson closed the public hearing and looked for a motion.

Motion: Commissioner Lyytinen made a motion to approve Resolution No. 19-09, A Resolution Recommending the City Council Approve the Conditional Use Permit for Louie Bonneville, Commissioner Demers seconded. (Motion was approved 6-0).

Mr. Cottingham noted that Planning Commission is only an advisory board and this recommendation would be forwarded to the City Council for action at their meeting on June 18, 2019 at 7:00 pm.

Commissioner's Questions/Comment

Commissioner Sanders inquired if when Mike Acheson submits an application would we notify all property owners that signed the petition against his request.

Mr. Cottingham stated that this will be a conditional Use Permit and we are required to notify property owners within 350 feet which does not include all parties who signed the petition. If this is the desire of a majority of commissioner's, then he would do this however he warned of the precedent that this will set for future applications.

A census of the majority of the commissioner's was to notify all parties who signed the petition.



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Commission Sanders stated that the City Council should state why they are going against the Planning Commission recommendation on request. This would be very helpful for the commission with future applications.

Mr. Cottingham stated he would pass this onto the City Council.

The Commission discussed holding a meeting on June 25th for the 14th Street Apartments and were willing to hold the meeting provided the City Council would be meeting on July 2nd.

Next Meeting

June 25, 2019

Meeting adjourned 7:32 p.m.

Respectfully submitted,

Al Cottingham, City Planner/Zoning Administrator



Community Development Department
101 14th Street • Cloquet MN 55720
Phone: 218-879-2507 • Fax: 218-879-6555

PLANNING COMMISSION MEMO

To: City of Cloquet Planning Commission
From: Al Cottingham, City Planner/Zoning Administrator
Date: June 27, 2019

ITEM DESCRIPTION: Zoning Case 19-03: Final Plat and Site Plan – Blackhoof Development, 14th Street Apartments

Background

In 2007 and 2008 the City approved the Master Plan, Grading Plan, Utility Plan, Site Plan and Common Interest Community Plat for Blackhoof Development. The Master Plan called for 5 (five) 18 (eighteen) unit apartment buildings to be constructed as part of the development. Since the approval one of the buildings has been constructed along with associated parking.

This project is somewhat unique in that the property is owned by the City and is being purchased by the developer as he constructs additional phases of the development. The property to the north and east of the complex will be retained by the City for future park development. The access drive and storm ponding area located to the north and east of the development will be owned by the City with the maintenance of them being done and paid for by the development.

On December 18, 2012 the City Council approved a site plan/master plan amendment/final plat. The revised Master Plan has 1 (one) 18 (eighteen) unit building, 1 (one) 22 (twenty-two) unit building, 1 (one) 36 (thirty-six) unit building, an 8 (eight) stall garage and a 10 (ten) stall garage.

In 2012, the City Council approved the First Amendment to Common Interest Community Number 5 14th Street Apartments Planned Community.

The Final Plat submittal is for the Second Amendment to Common Interest Community Number 5 14th Street Apartments Planned Community which will create the lot for the third and final phase of the project.

The Site Plan is for the 36-unit building and 20 stall detached garage for property located southeast of 2010 14th Street.

Final Plat

Attached, the Commission will find the Final Plat for the development. The Final Plat will create a lot, Unit 3 for where the proposed Building 3 will be located.



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The Final Plat is consistent with the approved preliminary plat that was approved in 2008 and revised in 2012. There are a number of easement documents that will need to be filed and recorded after the final plat is recorded.

Site Plan

Attached, the Commission will find the following plans for this development:

- Site Development Plan
- Site Grading Plan
- Site Landscape Plan
- Site Lighting Plan
- Building Elevations

Stormwater Management: (Section 18.6)

The developer has also run a hydraulic model for storm water which has been reviewed by the City Engineer and meets requirements.

The Code requires private stormwater areas to meet the following requirements:

1. A permanent public easement shall be provided to the city for access for inspection and/or maintenance purposes. Cost incurred by the city for any maintenance of private systems will be billed and/or assessed to the owner/operator.
2. Recorded inspection and maintenance agreements that define inspection and maintenance responsibilities are required. A minimum annual inspection for private systems shall be required. These requirements are transferrable to any party that becomes the owner/operator of the site.
3. An inspection and maintenance plan shall be developed, approved and included as an attachment to the maintenance agreement. At a minimum, maintenance plans must include the following:
 - a. Responsible person(s) for completing inspections and conducting maintenance.
 - b. Frequency of inspections and maintenance.
 - c. Inspection checklist and type of maintenance anticipated.
4. If site configurations or structural stormwater BMPs change, causing decreased BMP effectiveness, new or improved structural stormwater BMPs must be implemented to meet the requirements of this section.
5. The property owner shall keep on file all structural stormwater BMP annual inspection and maintenance records for 5 years and submit to the City as requested.
6. The City shall require the submittal of a letter of credit or other financial security in a form acceptable to the city in the amount of \$5,000 to ensure the stormwater treatment systems are installed correctly and in accordance with this ordinance.

Impervious Surface: (Section 17.6.07, Subd. 5. F)

The site by itself exceeds the maximum impervious surface but is consistent with the master site/development plan that was approved. All I can figure is that they took into account the green space that would be future city park and used that to offset the impervious surface requirements.



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Building Setbacks: (Section 17.5.07, Subd. 5. B)

The site does not have a true front yard since it does not abut a public road, so I figured the east side to be the front since it abutted the right of way easement. This would make the north and south lines the side yards and the west line the rear yard for setback purposes. The proposed building location meets the minimum setback distance from all of the property lines.

Landscaping: (Section 17.5.04 Subd. 5.)

The landscape plan shows 19 overstory plantings and 35 shrubs, the site is required to have 19 overstory plantings in addition to understory trees and shrubs.

Traffic Flow:

The Commission will note that access to the site is to 14th Street at two different locations. There is a one-way drive aisle on the south side of the building that is 16 feet in width. The Fire Department stated that this is acceptable to them.

Parking: (Section 17.5.11 Subd. 6.)

The site is required to have 2 parking spaces based on 2 parking stalls per unit. The proposal for parking is for 50 regular parking spaces 9' x 20' and 4 ADA accessible parking spaces designed to code standards along with 20 garage stalls, four more than required.

Trash Storage: (Section 17.5.15 Subd. 7. A (7))

Proposed trash storage will be located along the south side of the garage. This trash storage will be screened by a chain-link fence with slats.

Signage: (Section 17.5.13 Subd. 14.)

There is no signage proposed with the plan

Lighting: (Section 17.5.12 Subd. 5. B)

The applicant has provided a photometric plan along with detail sheets which display downward facing fixtures that emit footcandle readings that are compliant with City lighting standards.

Other Site Plan Items:

There are many private utilities crossing other properties to serve the existing buildings and this building. Appropriate maintenance and easement documents will need to be reviewed and then recorded with Carlton County.

Policy Objectives

The purpose of this Site Plan Review application is to ensure that this development project is aligned with city development standards.

Financial Impacts

The Final Plat and Site Plan fees were paid.



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Advisory Committee Action Requested

The Commission should review the Final Plat and Site Plan and take into account any comments pertaining to it. Following these reviews the Planning Commission can recommend approval of the request, recommend denial of the request or table the request for some additional information.

Staff Recommendation

Staff would recommend approval of the Final Plat and Site Plan subject to at least the conditions in the attached resolutions.

Attachments

- Approving Resolution Final Plat
- Approving Resolution Site Plan
- Location Map
- Engineer's Memo
- Site Plan
- Grading and Drainage Plan
- Floor Plan (3)

STATE OF MINNESOTA

COUNTY OF CARLTON

CITY OF CLOQUET

Commissioner _____ offered the following Resolution and moved its adoption.

RESOLUTION NO. 19-03 Final Plat

A RESOLUTION APPROVING THE FINAL PLAT FOR SECOND AMENDMENT TO C.I.C. NO. 5 PLAT AT 2030 14TH STREET FOR A PROPOSED 36 UNIT APARTMENT PROJECT

WHEREAS, An application for a Final Plat for Second Amendment to C.I.C. No. 5 Plat has been submitted by Blackhoof Development, for a proposed 36 unit apartment project at 2030 14th Street, pursuant to Chapter 13 of the City Code. The property is zoned Multiple-Family Residence (R3), and a portion has been platted as a C.I.C. (parcel 06-552-0020, 06-552-0040 and 06-510-8210); and

WHEREAS, The C.I.C. Plat is being proposed to create the 3 lots for the apartment buildings and a lot for the City of Cloquet for an expansion to Hilltop Park; and

NOW, THEREFORE, BE IT RESOLVED, BY THE PLANNING COMMISSION OF THE CITY OF CLOQUET, MINNESOTA, that the Final Plat for Second Amendment to C.I.C Plat is recommended to the City Council for approval subject to the following conditions:

1. The easements for the access drive and drainage area shall be amended to allow for parking and private utilities within those easements.
2. No building permit shall be issued until the plat has been filed and recorded with Carlton County.

The foregoing motion was duly seconded by Commissioner _____ and being put to vote members voted: AYE: ____ NAY: ____ ABSENT: ____

MARK CLINE	_____	PHILIP DEMERS	_____
TERRI LYYTINEN	_____	ELIZABETH POLLING	_____
JOHN SANDERS	_____	URIAH WILKINSON	_____

Passed and adopted this 9th day of July 2019.

CITY OF CLOQUET

URIAH WILKINSON
CHAIR

ATTEST: _____
Alan Cottingham
City Planner/Zoning Administrator

STATE OF MINNESOTA

COUNTY OF CARLTON

CITY OF CLOQUET

Commissioner _____ offered the following Resolution and moved its adoption.

RESOLUTION NO. 19-03 Site Plan

**A RESOLUTION RECOMMENDING APPROVAL OF A SITE PLAN IN THE R3 –
MULTIPLE-FAMILY RESIDENCE DISTRICT FOR BLACKHOOF DEVELOPMENT**

WHEREAS, Blackhoof Development is proposing a Site Plan in the R3 – Multiple-Family Residence District for a 36-Unit Apartment Building; and

WHEREAS, the property of the proposed Site Plan is located southeast of 2020 14th Street and is legally described as follows:

That part of the Northwest Quarter of the Northwest Quarter of Section 36, Township 49 North, Range 17 west of the Fourth Principal Meridian, described as follows:

Commencing at the northwest corner of said Section 36; thence on an assumed bearing of South 00 degrees 01 minutes 27 seconds West, along the west line of said Section 36, a distance of 615.00 feet; thence South 89 degrees 58 minutes 33 seconds East a distance of 321.00 feet to the actual point of beginning of the tract of land herein described; thence North 57 degrees 57 minutes 02 seconds East a distance of 243.74 feet to the southerly line of the right-of-way easement recorded in Document No. A-000419942; thence southeasterly a distance of 39.18 feet, along last said southerly line and along a non-tangential curve concave to the southwest, having a radius of 200.00 feet, a central angle of 11 degrees 13 minutes 25 seconds and a chord bearing of South 19 degrees 17 minutes 31 seconds East; thence South 13 degrees 40 minutes 49 seconds East, along last southerly line and non-tangent to last described curve, a distance of 58.89 feet; thence southeasterly a distance of 48.99 feet, along last said southerly line and along a tangential curve concave to the west, having a radius of 200.00 feet and a central angle of 14 degrees 02 minutes 08 seconds; thence South 00 degrees 21 minutes 20 seconds West a distance of 143.82 feet to the north line of the recorded plat of PINE GROVE TERRACE; thence North 89 degrees 36 minutes 50 seconds West, along last said north line, a distance of 238.30 feet to the intersection with a line bearing South 00 degrees 01 minutes 27 seconds West from the point of beginning; thence North 00 degrees 01 minutes 27 seconds East a distance of 155.55 feet to the point of beginning.

Subject to and together with any pertinent easements contained in Document Number A-000419942. And,

WHEREAS, the Planning Commission reviewed the staff report and recommends approval of the Site Plan.

NOW, THEREFORE, BE IT RESOLVED, BY THE PLANNING COMMISSION OF THE CITY OF CLOQUET, MINNESOTA, that the Planning Commission recommends approval of Zoning Case 19-03 for a site plan for Blackhoof Development for a 36-Unit Apartment Building subject to the following conditions:

1. The required easements, inspection and maintenance agreements, inspection and maintenance plan, financial guarantee and other items as required for the stormwater BMPs must be submitted before a building permit is issued.
2. Compliance with the Assistant City Engineer's Memo dated June 27, 2019.
3. Maintenance easements for all private utilities must be filed and recorded against the specific parcels. Prior to the issuance of the building permit
4. Signage shall comply with the Ordinance requirements.

The foregoing motion was duly seconded by Commissioner _____ and being put to vote members voted: AYE: ____ NAY: ____ ABSENT: ____

MARK CLINE	_____	PHILIP DEMERS	_____
TERRI LYYTINEN	_____	ELIZABETH POLLING	_____
JOHN SANDERS	_____	URIAH WILKINSON	_____

Passed and adopted this 9th day of July 2019.

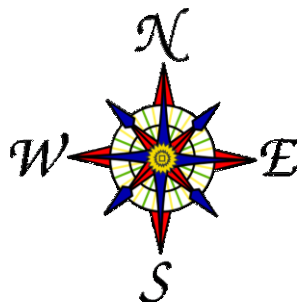
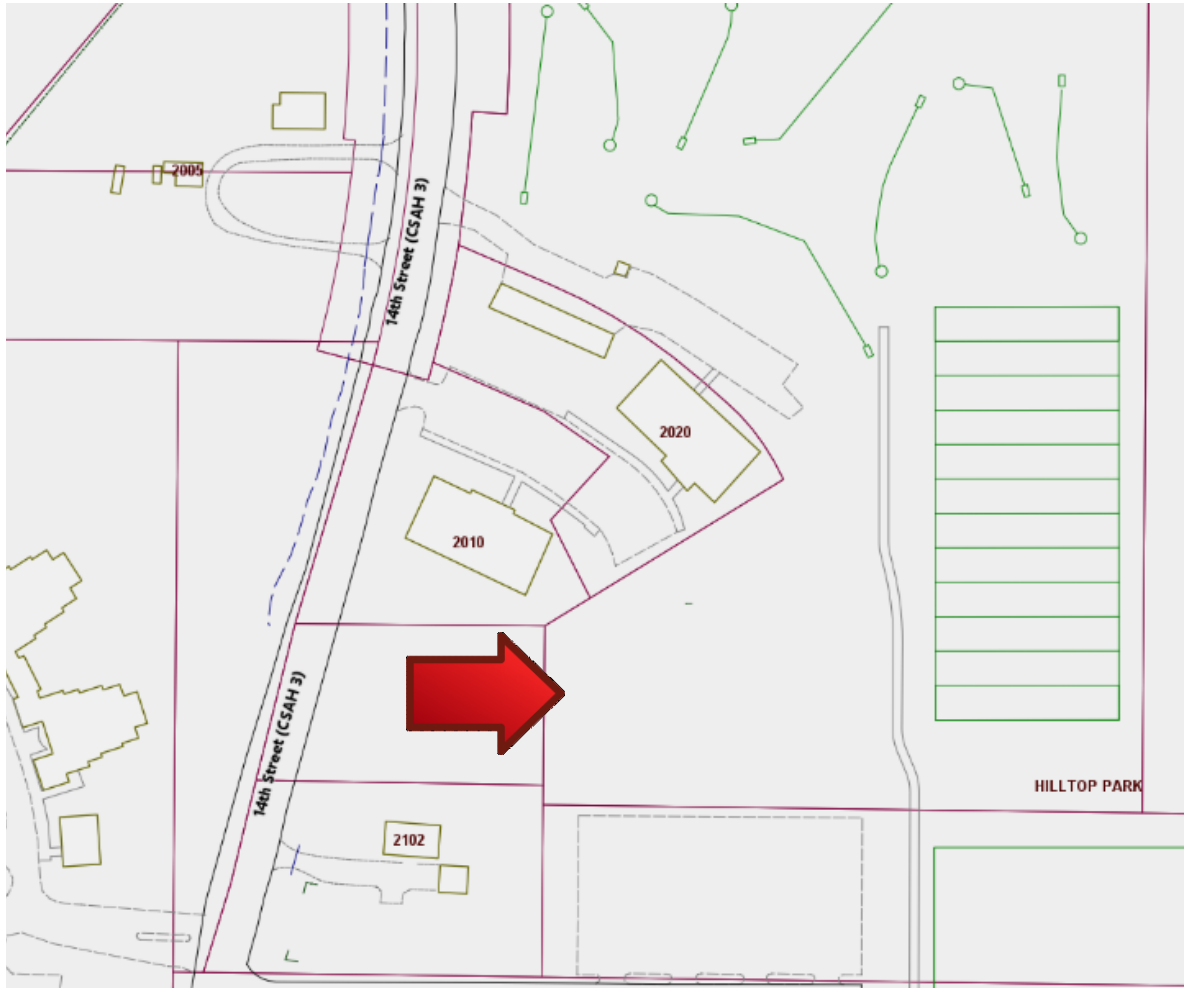
CITY OF CLOQUET

URIAH WILKINSON
CHAIR

ATTEST: _____
Alan Cottingham
City Planner/Zoning Administrator

Location Map

14th Street Apartments



No Scale



DEPARTMENT OF PUBLIC WORKS

1307 Cloquet Avenue; Cloquet, MN 55720
Phone: (218) 879-6758 Fax: (218) 879-6555
Street - Water - Sewer – Engineering - Park
www.ci.cloquet.mn.us

MEMO

To: Al Cottingham, City Planner
From: John Anderson, Assistant City Engineer
Date: June 27, 2019

SUBJECT: 14th Street Apartments - Building 3 – 3rd Review

I have reviewed the preliminary plat materials, dated 5-23-19, submitted by Blackhoof on 6/4/19. The plans and submittal materials contained the following items:

- Utility planning and Routing
- Drainage Map
- Layout
- Grading and Drainage Plan
- Erosion Control and Landscape Plan
- Slope Stormwater BMP
- SWPPP (6/4/19)
- Soil boring logs
- Notarized legal documents
- 2nd amendment CIC 5 utility easement

The following are my comments on the plans submitted to date;

Utility Planning and Routing

1. Ownership and maintenance of the storm sewer on this site, and previously constructed phases is private and the developer needs to provide recorded documents that clearly identify who will own and maintain this storm sewer. The city attorney should review and approve any maintenance agreements related to privately owned and operated utilities.
2. Ownership and maintenance of the watermain (except for the main north – south watermain within the public easement) on this site and previously constructed phases is private and the developer needs to provide recorded documents that clearly identify who will own and maintain watermain. The city attorney should review and approve any maintenance agreements related to privately owned and operated utilities.
3. Ownership and maintenance of the sanitary sewer (except for the main north – south sanitary sewer within the public easement) on this site and previously constructed phases is private and the developer needs to provide recorded documents that clearly identify who will own and maintain this sanitary sewer. The city attorney should review and approve any maintenance agreements related to privately owned and operated utilities.

4. A sewer connection permit from the City of Cloquet will be required for this work
5. A water service connection permit from the city of Cloquet will be required for this work
6. A plumbing permit from the Minnesota Department of Labor and Industry will be required for the sewer, water and storm sewer on this site.
7. WLSSD will require a CAF fee be collected for the site.
8. As built drawings of utilities constructed in this phase and previous phases need to be submitted

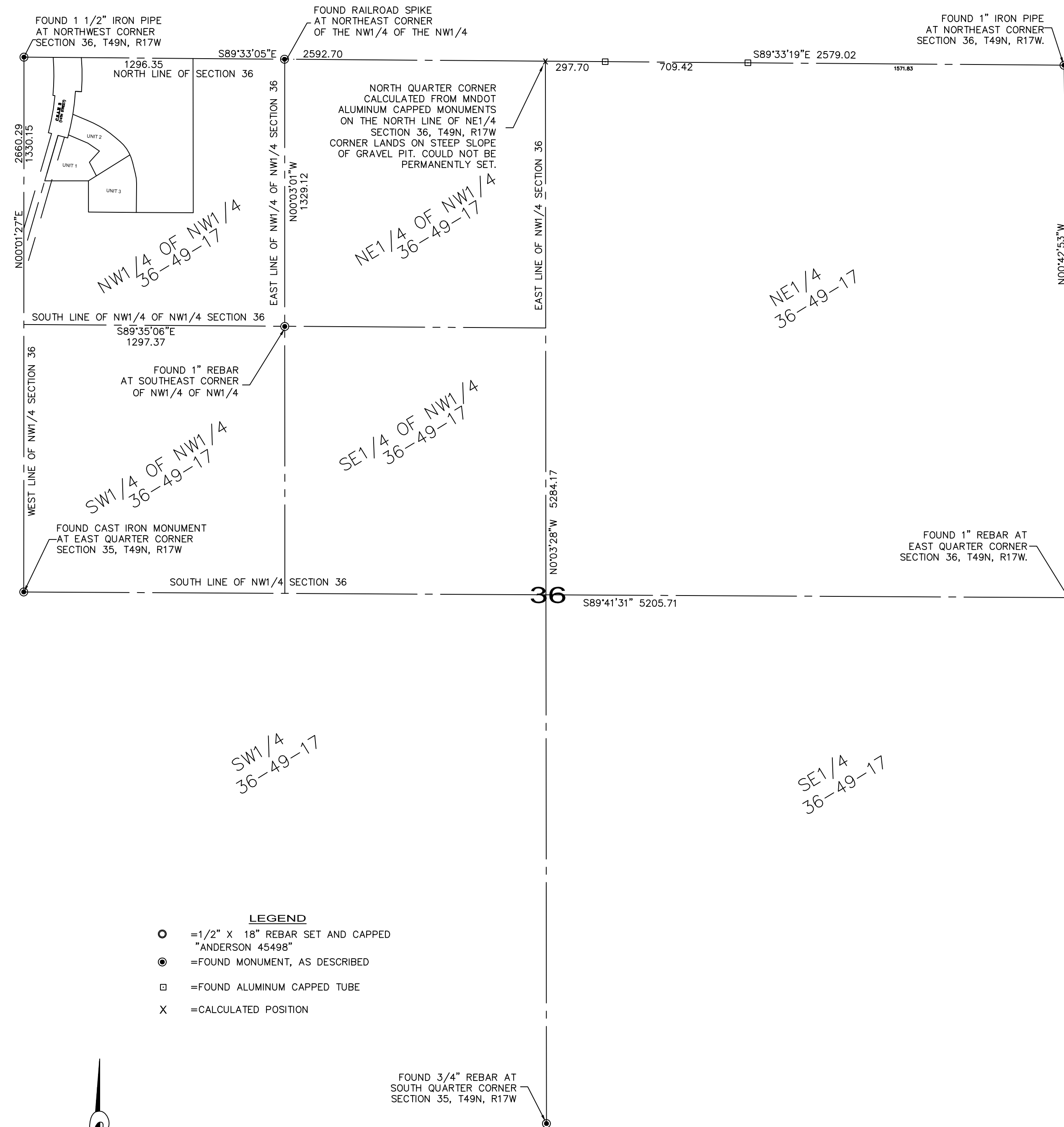
Drainage and Grading Plan

1. An engineered design shall be provided for the retaining wall.
2. An engineered design shall be provided for the bridge connection to the building.
3. This plan will require a NPDES construction permit as well as a city issued grading permit.
4. The site will be required to establish a stormwater utility account and contribute based on the amount of impervious on site
5. A bond in the amount of \$5000 will need to be provided to insure proper function of the stormwater treatment pond.
6. Pond P-3 is not clearly defined in the plans. Details of areas, elevations and construction materials need to be provided

Erosion Control and Landscape Plan

1. Adequate protection of the existing onsite infiltration (pond 5P) must be included in the erosion control plan to protect the sites ability to infiltrate stormwater. The plans do not show how the existing infiltration areas will be protected from silt during construction.
2. The contractor will be required to inspect the site as required by the NPDES permit, copies of these inspections shall be provided to the City of Cloquet. These inspections must be preformed by qualified inspectors and installation of erosion control measures must be preformed by qualified installers. The contractor shall submit the credentials of all personnel responsible for inspection and installation.
3. Perimeter control needs to be included in the plan along the western boundary of the site.
4. Pond P-3 needs to be protected from compaction and siltation during construction.

SECOND AMENDMENT TO COMMON INTEREST COMMUNITY NUMBER 5 14TH STREET APARTMENTS PLANNED COMMUNITY



I, Benjamin H. Anderson, do hereby certify that work was undertaken by or reviewed and approved by me for this Second Amendment to CIC Plat Number 5 being located upon:

New Revised Legal Description for Unit One
That part of the Northwest Quarter of the Northwest Quarter of Section 36, Township 49 North, Range 17 west of the Fourth Principal Meridian, described as follows:
Commencing at the northwest corner of said Section 36; thence on an assumed bearing of South 00 degrees 01 minutes 27 seconds West, along the west line of said Section 36, a distance of 615.00 feet; thence South 89 degrees 58 minutes 33 seconds East a distance of 103.71 feet to a point on the centerline of County State Aid Road No. 3, commonly called South Fourteenth Street said point begin the actual point of beginning of the tract of land herein described; thence continuing South 89 degrees 58 minutes 33 seconds East a distance of 217.29 feet; thence North 57 degrees 57 minutes 02 seconds East a distance of 46.40 feet; thence North 27 degrees 21 minutes 20 seconds West a distance of 76.10 feet; thence North 42 degrees 07 minutes 34 seconds East a distance of 75.21 feet; thence North 55 degrees 46 minutes 24 seconds West a distance of 69.44 feet; thence North 66 degrees 40 minutes 59 seconds West a distance of 105.16 feet to the easterly right-of-way line of said County State Aid Road No. 3; thence southwesterly a distance of 18.14 feet along a non-tangential curve along said right-of-way, concave west, having a radius of 1195.92 feet, a central angle of 00 degrees 46 minutes 24 seconds and a chord bearing of South 14 degrees 43 minutes 33 seconds West; thence North 74 degrees 58 minutes 13 seconds West, non-tangent to last said curve, a distance of 49.89 feet to said centerline of County State Aid Road No. 3; thence South 16 degrees 14 minutes 37 seconds West, along said centerline, a distance of 235.31 feet to the point of beginning.
Subject to and together with any pertinent easements contained in Document Number A-000419942.

New Legal Description for Unit Two
That part of the Northwest Quarter of the Northwest Quarter of Section 36, Township 49 North, Range 17 west of the Fourth Principal Meridian, described as follows:
Commencing at the northwest corner of said Section 36; thence on an assumed bearing of South 00 degrees 01 minutes 27 seconds West, along the west line of said Section 36, a distance of 615.00 feet; thence South 89 degrees 58 minutes 33 seconds East a distance of 321.00 feet; thence North 57 degrees 57 minutes 02 seconds East a distance of 46.40 feet to the actual point of beginning of the tract of land herein described; thence North 27 degrees 21 minutes 20 seconds West a distance of 76.10 feet; thence North 42 degrees 07 minutes 34 seconds East a distance of 75.21 feet; thence North 55 degrees 46 minutes 24 seconds West a distance of 69.44 feet; thence North 66 degrees 40 minutes 59 seconds West a distance of 105.16 feet to the easterly right-of-way line of said County State Aid Road No. 3; thence northeasterly a distance of 104.73 feet along a non-tangential curve along said right-of-way, concave west, having a radius of 1195.92 feet, a central angle of 05 degrees 01 minutes 03 seconds and a chord bearing of North 11 degrees 49 minutes 49 seconds East to the southerly line of a right-of-way easement recorded in Document No. A-000419942; thence South 67 degrees 05 minutes 27 seconds East, along last said southerly line and non-tangent to last said curve, a distance of 66.68 feet; thence southeasterly a distance of 157.57 feet, along last said southerly line and along a tangential curve concave to the southwest, having a radius of 500.00 feet and a central angle of 18 degrees 03 minutes 22 seconds; thence South 49 degrees 02 minutes 05 seconds East, along last said southerly line, a distance of 27.85 feet; thence southeasterly, along last said southerly line and along a tangential curve concave to the southwest having a radius of 200.00 feet and a central angle of 24 degrees 07 minutes 52 seconds a distance of 84.23 feet to the intersection with a line bearing North 57 degrees 57 minutes 02 seconds East from the point of beginning; thence South 57 degrees 57 minutes 02 seconds West, non-tangent to last said curve, a distance of 197.34 feet to the point of beginning.
Subject to and together with any pertinent easements contained in Document Number A-000419942.

New Legal Description for Unit Three
That part of the Northwest Quarter of the Northwest Quarter of Section 36, Township 49 North, Range 17 west of the Fourth Principal Meridian, described as follows:
Commencing at the northwest corner of said Section 36; thence on an assumed bearing of South 00 degrees 01 minutes 27 seconds West, along the west line of said Section 36, a distance of 615.00 feet; thence South 89 degrees 58 minutes 33 seconds East a distance of 321.00 feet to the actual point of beginning of the tract of land herein described; thence North 57 degrees 57 minutes 02 seconds East a distance of 243.74 feet to the southerly line of the right-of-way easement recorded in Document No. A-000419942; thence southeasterly a distance of 39.18 feet, along last said southerly line and along a non-tangential curve concave to the southwest, having a radius of 200.00 feet, a central angle of 11 degrees 13 minutes 25 seconds and a chord bearing of South 19 degrees 17 minutes 31 seconds East; thence South 13 degrees 40 minutes 49 seconds East, along last said southerly line and non-tangent to last described curve, a distance of 58.89 feet; thence southeasterly a distance of 48.99 feet, along last said southerly line and along a tangential curve concave to the west having a radius of 200.00 feet and a central angle of 14 degrees 02 minutes 08 seconds; thence South 00 degrees 21 minutes 20 seconds West a distance of 143.82 feet to the north line of the recorded plat of "PINE GROVE TERRACE" on file and of record in the office of the Carlton County Recorder, Carlton County, Minnesota; thence North 89 degrees 36 minutes 50 seconds West, along last said north line, a distance of 238.30 feet to the intersection with a line bearing South 00 degrees 01 minute 27 seconds West from said point of beginning; thence North 00 degrees 01 minute 27 seconds East a distance of 155.55 feet to said point of beginning.
Subject to and together with any pertinent easements contained in Document Number A-000419942.

This Second Amendment to CIC Plat Number 5 does not contain any shore land.
Dated this ____ day of _____, 2019.

Benjamin H. Anderson, Land Surveyor
Minnesota License No. 45498
STATE OF MINNESOTA
COUNTY OF CARLTON

The foregoing Surveyor's Certificate was acknowledged before me this ____ day of _____, 2018 by Benjamin H. Anderson MN Lic. No. 45498.

Notary Public, Carlton County
My Commission Expires: _____

I, _____ hereby certify that as of _____, 2019

- I am a licensed architect.
- The structural components of the structures containing the units and the mechanical systems serving more than one unit in Common Interest Community No. 5 Carlton County, Minnesota are substantially completed.

Name: _____
License or Registration No. _____

STATE OF MINNESOTA
COUNTY OF _____

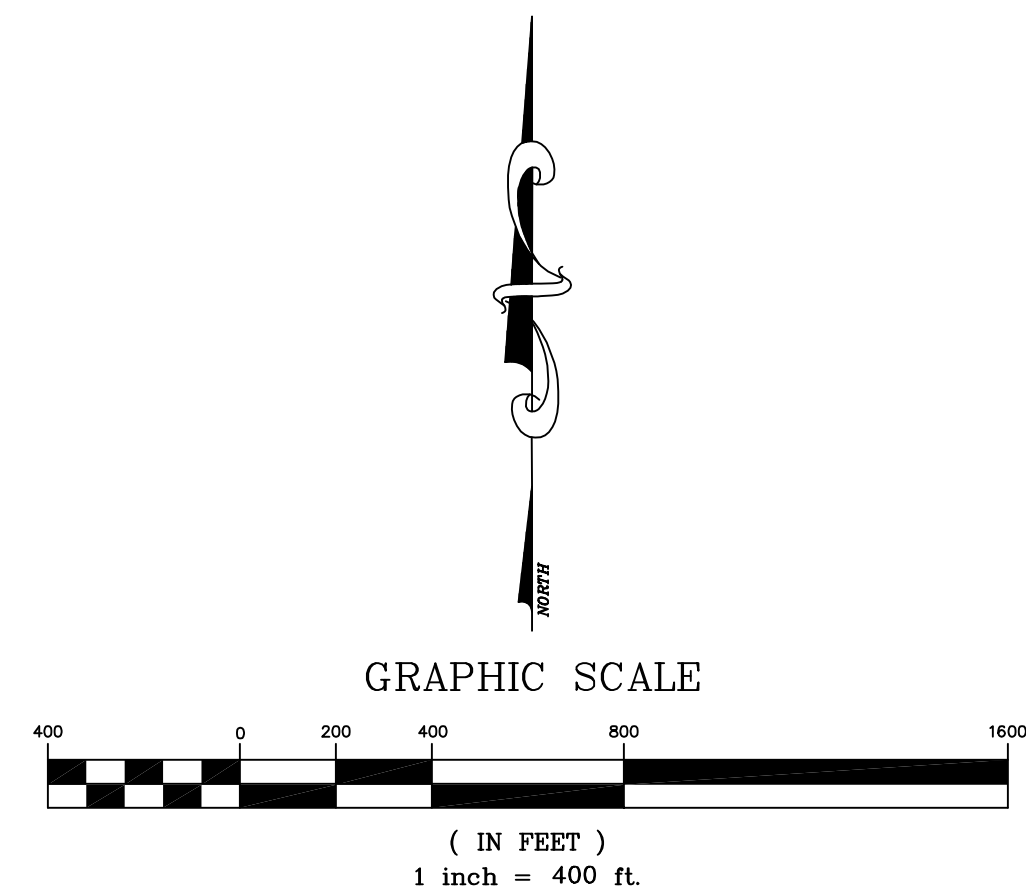
The foregoing instrument was acknowledged before me this _____ day of _____, 2019, by _____

Notary Public, _____ County
My Commission Expires _____

THIS CIC PLAT IS PART OF THE DECLARATION
RECORDED AS DOCUMENT NO. _____
ON THIS _____ DAY OF _____, 2019.

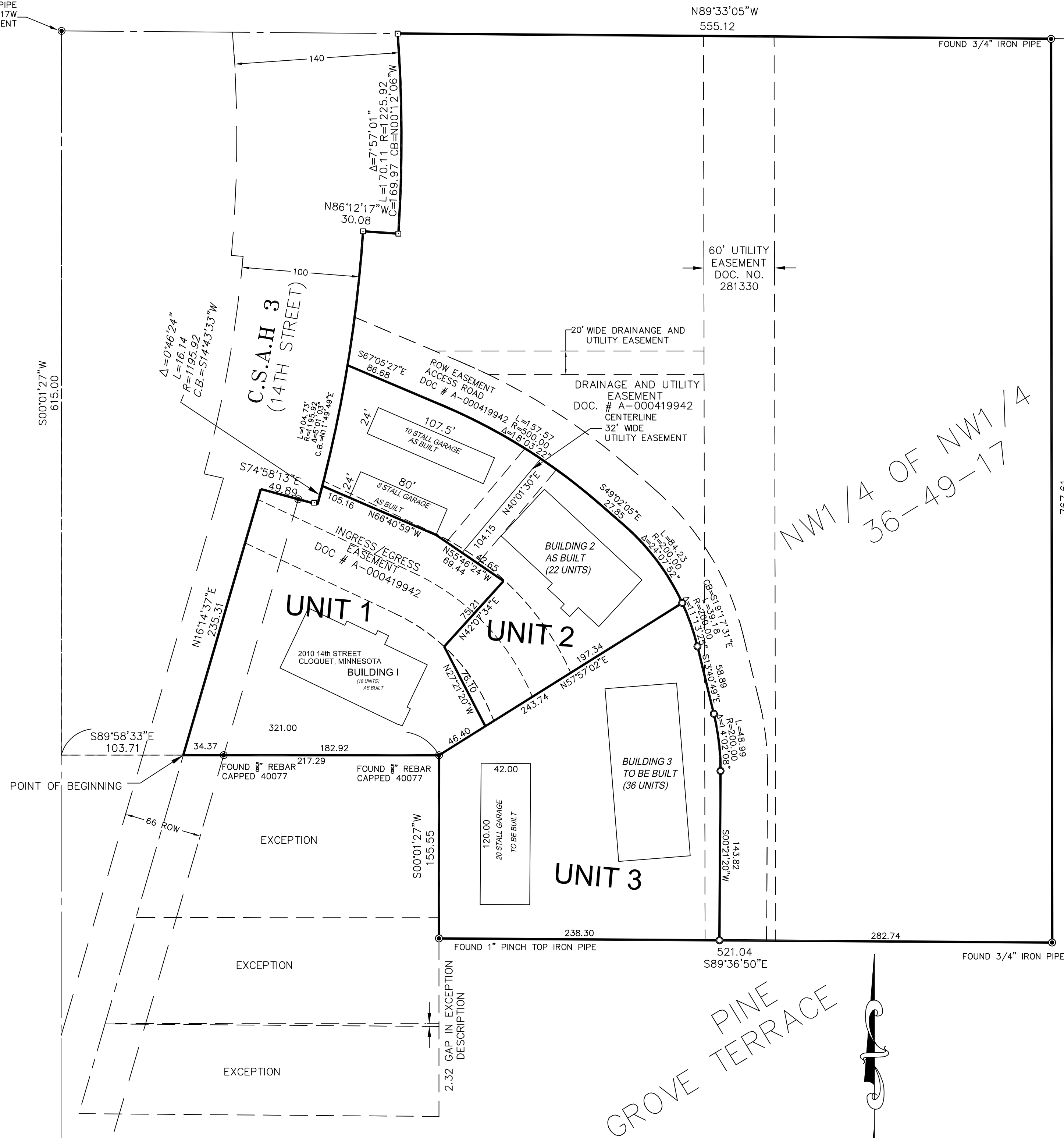
COUNTY RECORDER

- LEGEND**
- = 1/2" X 18" REBAR SET AND CAPPED "ANDERSON 45498"
 - = FOUND MONUMENT, AS DESCRIBED
 - = FOUND ALUMINUM CAPPED TUBE
 - X = CALCULATED POSITION

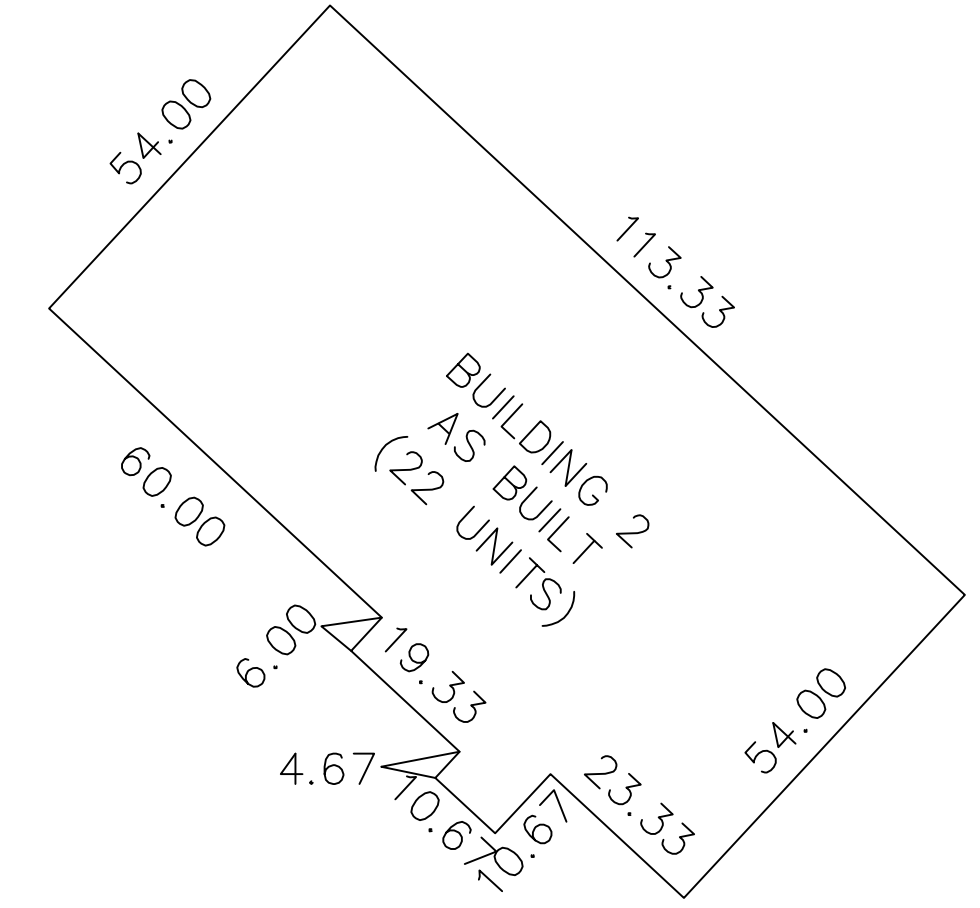
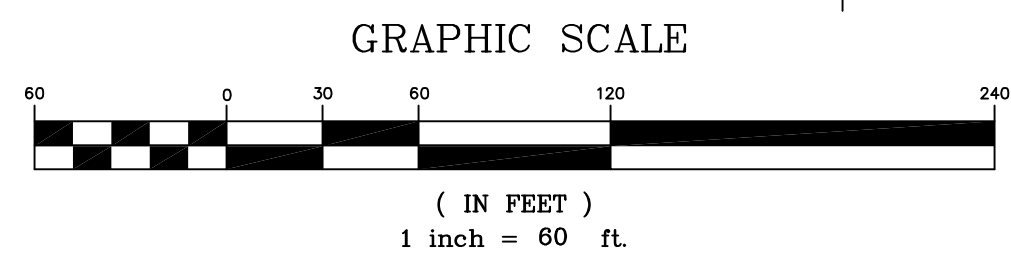


SECOND AMENDMENT TO COMMON INTEREST COMMUNITY NUMBER 5 14TH STREET APARTMENTS PLANNED COMMUNITY

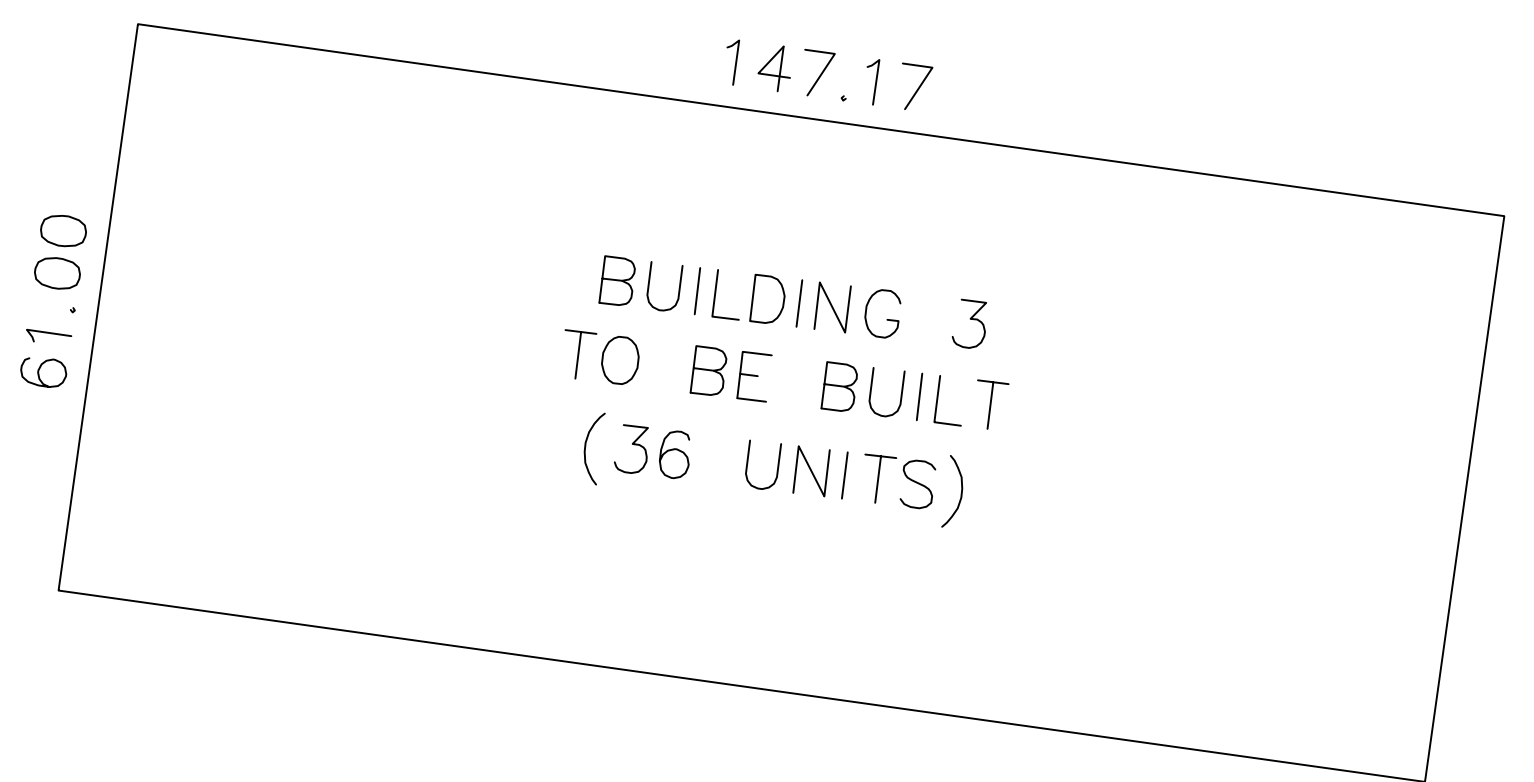
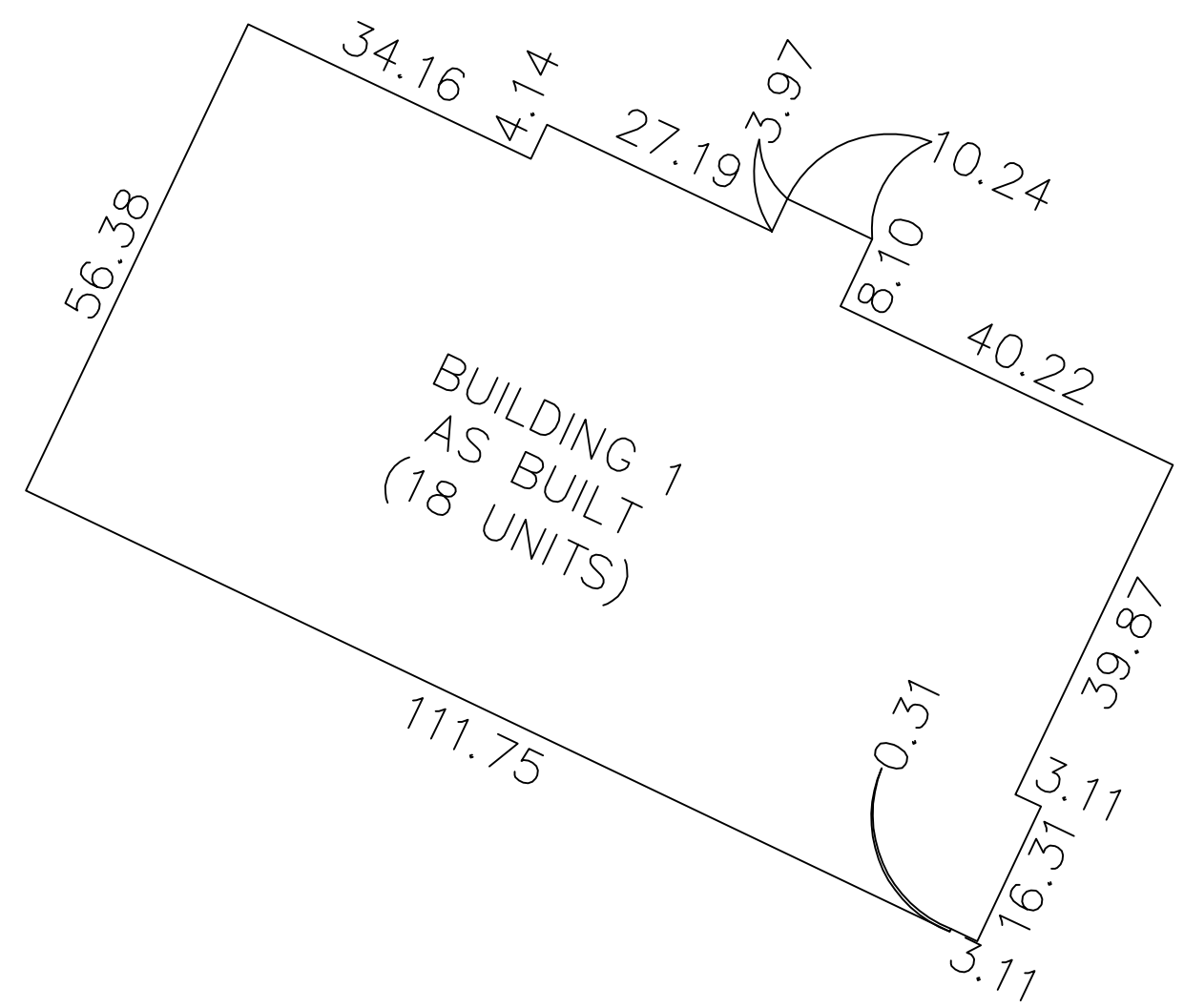
NORTHWEST CORNER
FOUND 1 3/4" IRON PIPE
SECTION 36, T49N, R17W
POINT OF COMMENCEMENT






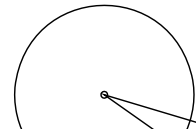

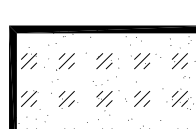
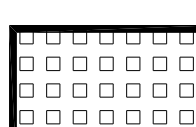
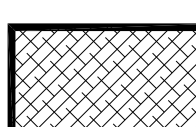
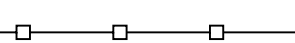
- LEGEND**
- = 1/2" x 18" REBAR SET AND CAPPED "ANDERSON 45498"
 - = FOUND MONUMENT, AS DESCRIBED
 - = FOUND MnDOT ALUMINUM CAPPED TUBE
 - X = CALCULATED POSITION



BUILDING DETAIL
NOT TO SCALE





-  2.5" IRONWOOD IF AVAILABLE
-  2.5" SNOWDRIFT CRAB
-  #2 BOBO HYDRANGEA AT 4' OC
-  2.5" AUTUMN BLAZE MAPLE
-  SEE WITH GENERAL TURF ESTABLISHMENT METHOD.
-  SINGLE NET STRAW BLANKET AT 1 ANCHOR PER SQ YD AND ONE ANCHOR PER 3 LNFT ALONG LEADING EDGES THAT RECEIVE CONCENTRATED FLOW
-  2-6" SCREENED ROUND NATURAL RIP RAP OVER 40Z SEPARATOR
-  2-4" SCREENED ROCK FOR STABILIZED CONSTRUCTION ENTRANCE
-  SILT FENCE OR 12" TALL 24" WIDE COMPACTED CONTAINMENT BERM SEED WITH 5LBS SEED OATS PER 1000 SF, HARROW AND COVER WITH 90% HAY OR STRAW. REMOVE WHEN FINAL TURF STABILIZATION HAS REACHED 90% COVER.

BLANKET 1	4858 SF
10-10-10 FERTILIZER	100 LBS
2-6" RIP RAP	100 CY
SPECIALTY TURF AND AG LANDSCAPERS MIX	
LAWN SEED	200LBS

INLET PROTECTION
 ALL INLETS MUST BE PROTECTED BY AN UNBROKEN RING OF 6" STRAW WATTLE FASTENED DOWN BY 1"X1" WOOD STAKES EVERY 2 LNFT. SHOULD BE AT LEAST 1 FT OF SPACE BETWEEN THE INSIDE OF THE WATTLE AND THE EDGE OF THE CASTING OR INLET STRUCTURE.

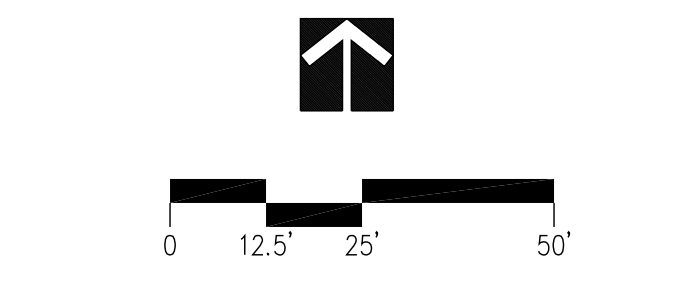
SWPPP GENERAL NOTES
 TEMPORARY STABILIZATION WILL BE REQUIRED ON ALL AREAS THAT HAVE NOT BEEN WORKED WITHIN 14 DAYS.

GENERAL TURF ESTABLISHMENT
 AFTER INSTALLING PERIMETER CONTROL, STRIP AND STOCKPILE TOPSOIL FOR REAPPLICATION AFTER CONSTRUCTION. REAPPLIED TOPSOIL WILL BE POWER RAKED AND SEEDED WITH GENERAL TURF GRASS IX AT A RATE OF 200 LBS PER ARE. LIGHTLY HARROW. APPLY BLOWN STRAW MULCH AT 90% COVER OR BLANKET AS SPECIFIED

SILT BAG AND/OR STRAW WATTLE AT ALL STRUCTURE STORM WATER INLETS.

THIS METHOD INCLUDES ALL DISTURBED AREAS THAT ARE NOT RECEIVING EROSION CONTROL BLANKET.

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CLIENT:
14TH III LLC

△	04-24-19	SITE PLAN SUBMITTAL
△	05-10-19	SITE PLAN SUBMITTAL
△	05-23-19	SITE PLAN SUBMITTAL
△	06-04-19	SITE PLAN SUBMITTAL
△	06-11-19	SITE PLAN SUBMITTAL

NO	DATE	REVISION
----	------	----------

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the state of Minnesota.

Signature: 
 Typed or Printed Name: TODD A. ERICKSON
 Date 05-10-19 Reg. No. 40418

PROJECT NAME:
14TH STREET APARTMENTS BUILDING III

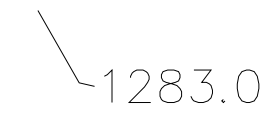



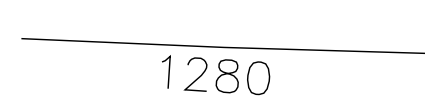

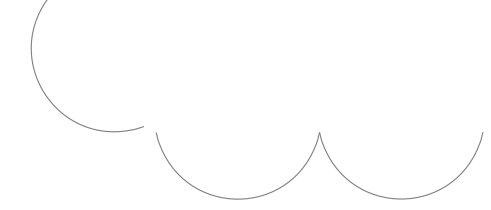


DRAWING TITLE:
LANDSCAPE AND EROSION CONTROL

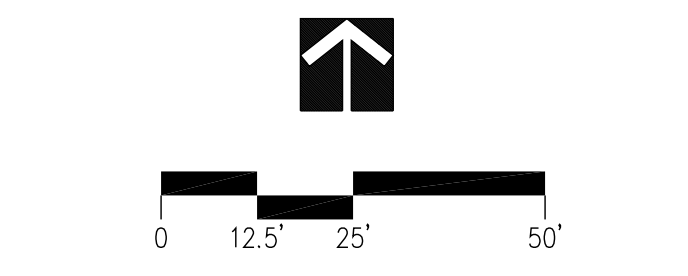
FILE:
 DRAWN BY: DMC
 CHECKED BY: DMC
 PROJ. NO.: -
 DRAWING NO.:

LS.1



GRADING AND DRAINAGE PLAN KEY

- PROPOSED SPOT ELEVATION  1283.0
- EXISTING SPOT ELEVATION  1193.4
- EXISTING CULVERT 
- PROPOSED STORM SEWER 
- PROPOSED 2' CONTOUR  1280
- EXISTING 2' CONTOUR  1204
- EXISTING WOODY VEGETATION 
- PROPOSED DIRECTION OF FLOW 
- CATCHMENT BOUNDARY 



CLIENT:
14TH III LLC

NO	DATE	REVISION
▲	04-24-19	SITE PLAN SUBMITTAL
▲	05-10-19	SITE PLAN SUBMITTAL
▲	05-23-19	SITE PLAN SUBMITTAL

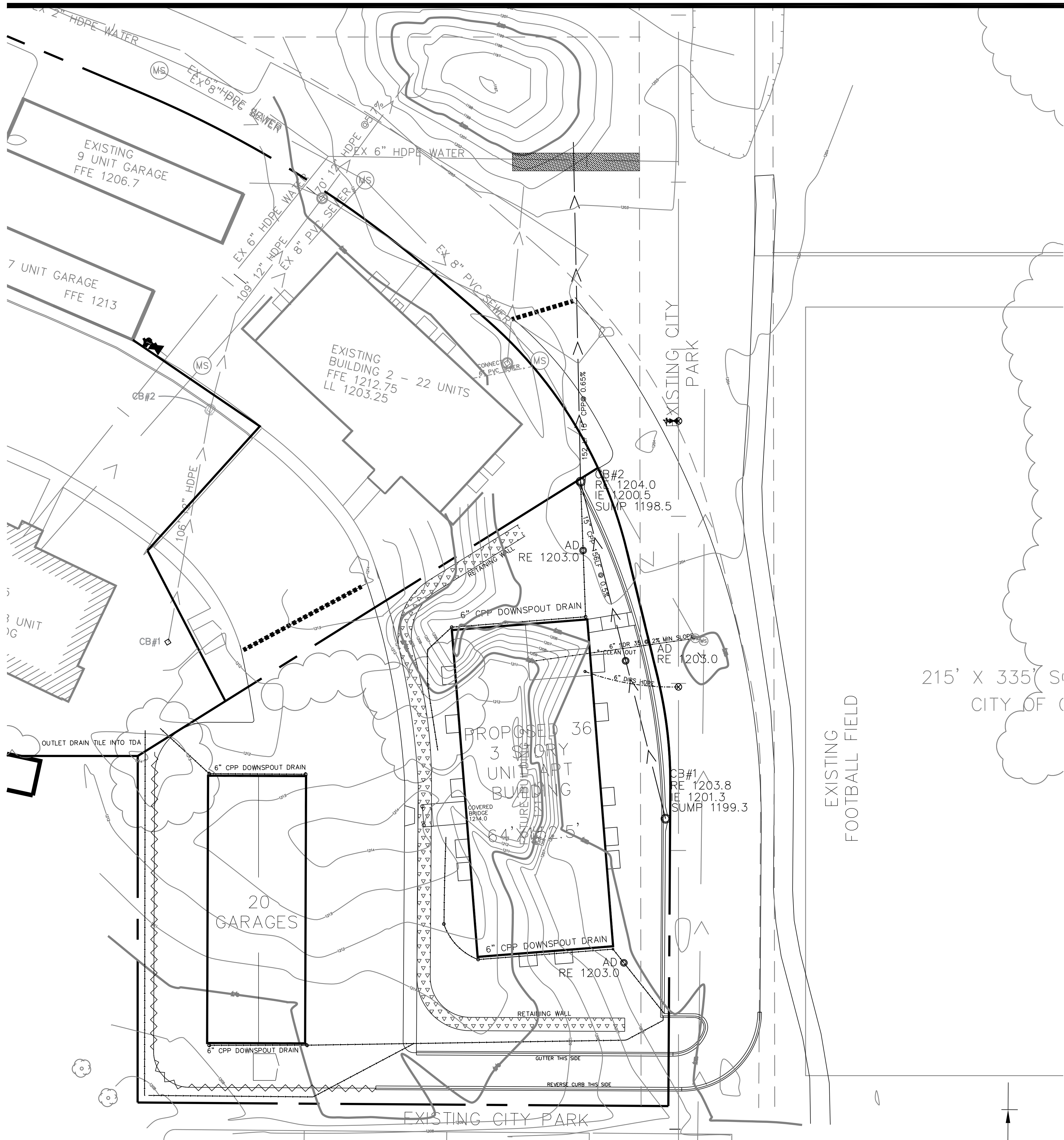
I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the state of Minnesota.

Signature: *David M. Chmielewski*
Typed or Printed Name: DAVID M. CHMIELEWSKI
Date 05-10-19 Reg. No. 40639

PROJECT NAME:
14TH STREET APARTMENTS BUILDING III

DRAWING TITLE:
GRADING AND DRAINAGE

FILE:
DRAWN BY: DMC
CHECKED BY: DMC
PROJ. NO.: -
DRAWING NO.: **G.1**

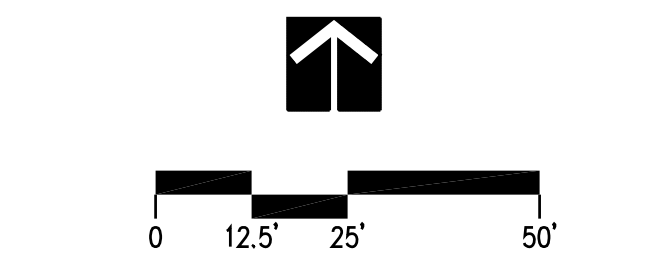


UTILITY PLAN KEY

- EXISTING HYDRANT AND WATER MAIN
- EXISTING SANITARY MAIN AND MANHOLE
- EXISTING CULVERT
- EXISTING VALVE
- PROPOSED WATER VALVE
- TDA INTERCEPT
- PROPOSED WATER SERVICE
- PROPOSED SANITARY SERVICE
- PROPOSED SANITARY SEWER MANHOLE
- EXISTING WOODY VEGETATION
- WET TAP 6" HDPE WATER SERVICE TO CITY 12" DI WATER MAIN VIA CLOQUET PUBLIC WORKS DEPARTMENT
- 2" HD RIGID EXTRUDED FOAM



BLACKHOOF
 2020 14TH STREET, SUITE A
 CLOQUET, MN 55720



CLIENT:
14TH III LLC

△	04-24-19	SITE PLAN SUBMITTAL
△	05-10-19	SITE PLAN SUBMITTAL
△	05-23-19	SITE PLAN SUBMITTAL
△	06-11-19	SITE PLAN SUBMITTAL
NO	DATE	REVISION

PROJECT NAME:
14TH STREET APARTMENTS BUILDING III

DRAWING TITLE:
UTILITY PLAN

FILE:
 DRAWN BY: DMC
 CHECKED BY: DMC
 PROJ. NO.: -
 DRAWING NO.:

U.1

DIVISION 26, 27, & 28 - ELECTRICAL WORK

SECTION 26 0500 - COMMON WORK RESULTS FOR ELECTRICAL

A. SEQUENCING AND SCHEDULING

- 1. COORDINATE THE INSTALLATION OF ELECTRICAL WORK WITH WORK OF OTHER TRADES.
2. FIELD COORDINATE FINAL MECHANICAL AND OTHER EQUIPMENT LOCATIONS, CONNECTION REQUIREMENTS AND CONTROL WIRING PRIOR TO ROUGH-IN. ADJUST CORRESPONDING CIRCUIT BREAKER RATINGS AND BRANCH CIRCUITING ACCORDINGLY.

B. WIRE AND CABLE

- 1. PROVIDE COPPER OR ALUMINUM CONDUCTORS FOR FEEDERS. BRANCH CIRCUITS SHALL BE COPPER. PROVIDE THIN OR THIN INSULATION. SIZE CONDUCTORS PER NEC AMPACITY AND WIRE FILL CRITERIA. PROVIDE DEDICATED NEUTRAL AND GROUND CONDUCTORS FOR CIRCUITING. SOLID CONDUCTORS FOR SIZES SMALLER THAN #8 AWG. STRANDED FOR #8 AWG AND LARGER. COLOR CODE AT TERMINATIONS. INCREASE BRANCH CIRCUIT CONDUCTORS INCLUDING EQUIPMENT GROUNDING CONDUCTORS PROPORTIONALLY FOR NO MORE THAN 3% VOLTAGE DROP PER ENERGY CODE.

C. CONDUIT AND BOXES

- 1. SECURELY FASTEN CONDUIT AND/OR CABLE RACEWAYS AND CABLE TRAY WITH SUITABLE STRAPS, CLAMPS, AND HANGERS WITH FASTENERS. TIE WIRES SHALL NOT BE USED.
2. OUTLET BOXES SHALL BE OF TYPE SUITABLE TO THEIR USE, INCLUDING VAPOR TIGHT IN BUILDING ENVELOPE AND OF SIZE REQUIRED BY CODE. THEY SHALL BE GALVANIZED STEEL OR PLASTIC, EXCEPT THOSE EXPOSED TO WEATHER SHALL BE CAST ALLOY WITH A GASKET. WHERE BOX LOCATIONS ARE WITHIN WALLS WITH VAPOR BARRIER, PROVIDE SUITABLE BOX TO MAINTAIN VAPOR BARRIER.
3. RACEWAYS AND/OR CABLE SHALL BE CONCEALED IN THE BUILDING CONSTRUCTION, EXCEPT IN UNFINISHED SPACES. EXPOSED RACEWAY WHEN REQUIRED SHALL BE APPROVED BY OWNER AND PAINTED TO MATCH ADJACENT SURFACE.
5. OUTLET BOXES IN THE SAME WALL SHALL NOT BE MOUNTED BACK-TO-BACK. AT COMMON WALL PARTITIONS IN OFFICES, INSTALL BOXES WITH AT LEAST ONE STUD BETWEEN OUTLETS.

D. IDENTIFICATION

- 1. ELECTRICAL SERVICE GEAR, METER CENTERS, PANELBOARDS, TRANSFORMERS, MOTOR STARTERS, AND SAFETY SWITCHES SHALL BE IDENTIFIED WITH ENGRAVED PLASTIC PLATES (WHITE PLASTIC/BLACK LETTERS).

SECTION 27 0000 - LOW VOLTAGE SYSTEM

- A. DRAWINGS AND GENERAL PROVISIONS OF THE CONTRACT, INCLUDING GENERAL AND SUPPLEMENTARY CONDITIONS AND DIVISION 1 SPECIFICATION SECTIONS APPLY TO THIS SECTION.

- B. THIS SECTION INCLUDES: CONDUIT, DEVICE BOX PROVISIONS, AND BLANK COVER PLATES FOR VOICE DATA CABLE AND DEVICES ASSOCIATED WITH THESE SYSTEMS AND THEIR RESPECTIVE INSTALLATION ARE NOT PART OF DIVISION 26 SPECIFICATION.

C. DEVICE ROUGH-IN REQUIREMENTS:

Table with columns: SYSTEMS, BOX, CONDUIT, RAISED COVER. Values include: UNLESS NOTED OTHERWISE, 4"x4"x2-1/8", 1", SINGLE GANG.

- D. RACEWAYS: PLACE CONDUITS AS STRAIGHT AS POSSIBLE. EXTEND RACEWAYS FROM DEVICE LOCATIONS TO ACCESSIBLE CEILING SPACE. CONDUITS LARGER THAN 2 INCHES SHALL HAVE LONG SWEEP RADIUS BENDS. BEND RADIUS SHALL BE 10 TIMES THE INTERNAL DIAMETER OF CONDUIT. PROVIDE PULL STRINGS IN RACEWAY SYSTEMS. PROVIDE J-HOOKS IN ALL CORRIDOR AREAS ABOVE ACCESSIBLE CEILING TO FACILITATE CABLE INSTALLATION.

SECTION 27 5123 - INTERCOMMUNICATIONS AND PROGRAM SYSTEMS

- A. DOOR INTERCOM SYSTEM BASIS OF DESIGN - CONTRACTOR IS RESPONSIBLE FOR PROVIDING SURFACE MOUNTED, EXTERIOR RATED VOICE ONLY INTERCOM SYSTEM AS INDICATED ON PLANS. PROVIDE SYSTEM COMPONENTS FOR A COMPLETE AND OPERATIONAL SYSTEM. DRAWINGS INCLUDE SCOPE OF WORK ASSOCIATED WITH APARTMENT PHONE SYSTEM. SYSTEM TO BE APPROVED BY OWNER PRIOR TO PURCHASE.

- B. COMMON SYSTEM CABLING SHALL BE INSTALLED IN RACEWAY WHERE SURFACE OR CONCEALED IN INACCESSIBLE LOCATIONS. PROVIDE COMPLETE TESTING OF SYSTEM AND INCLUDE RESULTS IN FINAL O&M DOCUMENTS.

SECTION 28 3100 - FIRE DETECTION AND ALARM

- A. COMMON BUILDING SUMMARY - BUILDING COMMON AREA WILL BE FURNISHED WITH A COMPLETE ADDRESSABLE FIRE ALARM SYSTEM WITH DEVICES INDICATED ON PLAN. IT IS THE INTENT OF THIS PACKAGE TO PROVIDE SCOPE OF DEVICE LOCATIONS. THE SUCCESSFUL CONTRACTOR SHALL PROVIDE EQUIPMENT AND DESIGN SERVICES TO MEET LOCAL REQUIREMENTS INCLUDING MONITORING AND TWO-WAY COMMUNICATION TO OWNER DESIGNATED 24-HOUR UL LISTED MONITORING SERVICE.

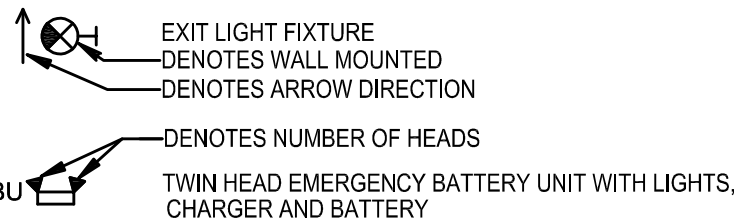
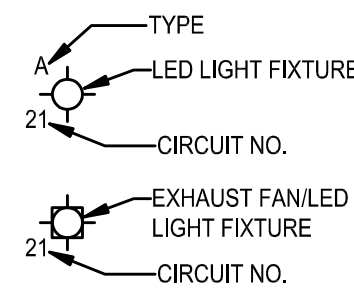
- B. DWELLING UNIT SUMMARY - DWELLING UNITS WILL BE FURNISHED WITH A COMPLETE STAND ALONE FIRE ALARM SYSTEM WITH DEVICES INDICATED ON PLAN. IT IS THE INTENT OF THIS PACKAGE TO PROVIDE SCOPE OF DEVICE LOCATIONS. THE SUCCESSFUL CONTRACTOR SHALL PROVIDE EQUIPMENT AND DESIGN SERVICES TO MEET LOCAL REQUIREMENTS. IN ADDITION, SLEEPING AREAS SHALL INCLUDE LOW FREQUENCY HORNS CONNECTED TO COMMON BUILDING SYSTEM. ADA UNITS WILL INCLUDE STROBE DEVICES CONNECTED TO COMMON BUILDING SYSTEM.

- C. COMMON SYSTEM CABLING SHALL BE INSTALLED IN RACEWAY WHERE SURFACE OR CONCEALED IN INACCESSIBLE LOCATIONS. PROVIDE COMPLETE TESTING PER NFPA AND INCLUDE RESULTS IN FINAL O&M DOCUMENTS.

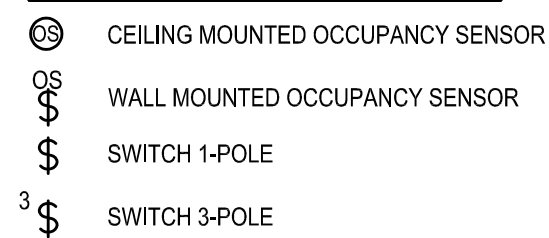
ELECTRICAL GENERAL NOTES

- A. PROVIDE CUTTING, PATCHING AND RESTORATION OF FINISHES NECESSARY FOR THIS WORK. SURFACES DAMAGED BY THIS WORK AND SPACES AROUND CONDUITS PASSING THROUGH FLOORS AND WALLS SHALL BE NEATLY PATCHED AND FINISHED TO MATCH EXISTING. STRUCTURAL MEMBERS SHALL NOT BE CUT OR PENETRATED IN ANY MANNER. THE SPACES AROUND THE CONDUITS SHALL BE SEALED TO PREVENT ENTRANCE OF MOISTURE. PROVIDE FIRE STOPPING PER UL APPROVED METHODS.
B. COORDINATE WITH OTHER TRADES FOR PROPER INSTALLATION OF EQUIPMENT. CONSULT THE DRAWINGS OF OTHER TRADES OR CRAFTS TO AVOID CONFLICTS WITH EQUIPMENT, ETC. CONFLICTS SHALL BE RESOLVED PRIOR TO ROUGH-IN AND AT NO ADDITIONAL COST TO THE OWNER.
C. LEAVE THE SITE CLEAN AND READY FOR OCCUPANCY, REMOVE DIRT, DEBRIS, EMPTY CARTONS, TOOLS, CONDUIT AND WIRE SCRAPS AND MISCELLANEOUS SPARE EQUIPMENT AND MATERIALS USED IN THIS DIVISION OF THE WORK DURING CONSTRUCTION. COMPONENTS SHALL BE FREE OF DUST, GRIT AND FOREIGN MATERIALS AND LEFT AS NEW BEFORE FINAL ACCEPTANCE OF WORK.
D. ALL OF THE SYMBOLS SHOWN ON THIS SHEET MAY OR MAY NOT BE USED IN THIS SET OF DRAWINGS.
E. PERFORM WORK TO COMPLY WITH THE STANDARD PRACTICES FOR GOOD WORKMANSHIP PUBLISHED BY NATIONAL ELECTRICAL CONTRACTORS ASSOCIATION (NECA), COMPLY WITH THE LATEST ENFORCED EDITION OF THE NATIONAL ELECTRICAL CODE (NEC), LOCAL CODES, AMENDMENTS, AND ORDINANCES.
F. PROVIDE COMPLETE O&M MANUAL INCLUDING APPROVED SUBMITTAL DRAWINGS, WARRANTY INFORMATION FOR PRODUCT SUPPLIED, AND MANUFACTURERS OPERATION AND MAINTENANCE INSTRUCTIONS.
G. ELECTRICAL WORK SHALL BE PERFORMED UNDER THE SUPERVISION OF A LICENSED MASTER ELECTRICIAN. PROCURE PERMITS AND LICENSES AND PAY FEES ASSOCIATED WITH THIS WORK.
H. MATERIALS FURNISHED FOR THIS PROJECT SHALL BE NEW, COMMERCIAL GRADE, FREE OF DEFECTS, AND LISTED BY A NATIONALLY RECOGNIZED TESTING LABORATORY UNLESS NOTED OTHERWISE.
I. PROVIDE NEW TYPED CIRCUIT DIRECTORIES TO REFLECT AS-CONSTRUCTED CONDITIONS. FIELD VERIFY DURING CONSTRUCTION PHASE AND ADJUST ACCORDINGLY.
J. IT IS THE INTENT OF THESE DIAGRAMMATIC DRAWINGS TO PROVIDE THE PROJECT SCOPE INCLUDING BUT NOT LIMITED TO NEW CONSTRUCTION, EXISTING INFORMATION INDICATED ON THESE PLANS DOES NOT REPRESENT ALL EXISTING CONDITIONS. THIS CONTRACTOR SHALL BECOME FAMILIAR WITH EXISTING CONDITIONS, SCOPE OF PHASING, AND PROJECT INTENT PRIOR TO BID SUBMISSION. NO EXTRA WILL BE ALLOWED DUE TO THE LACK OF KNOWLEDGE OF EXISTING CONDITIONS.

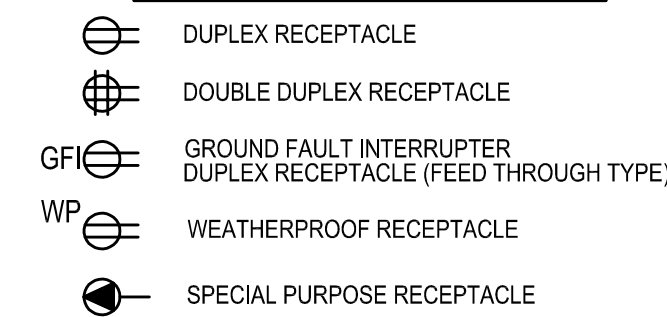
LIGHTING



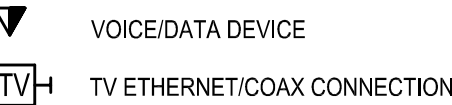
SWITCHES



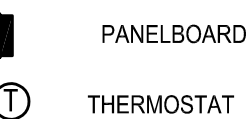
RECEPTACLES



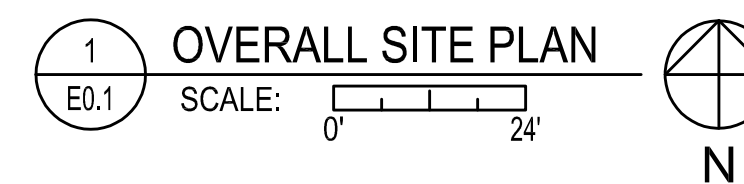
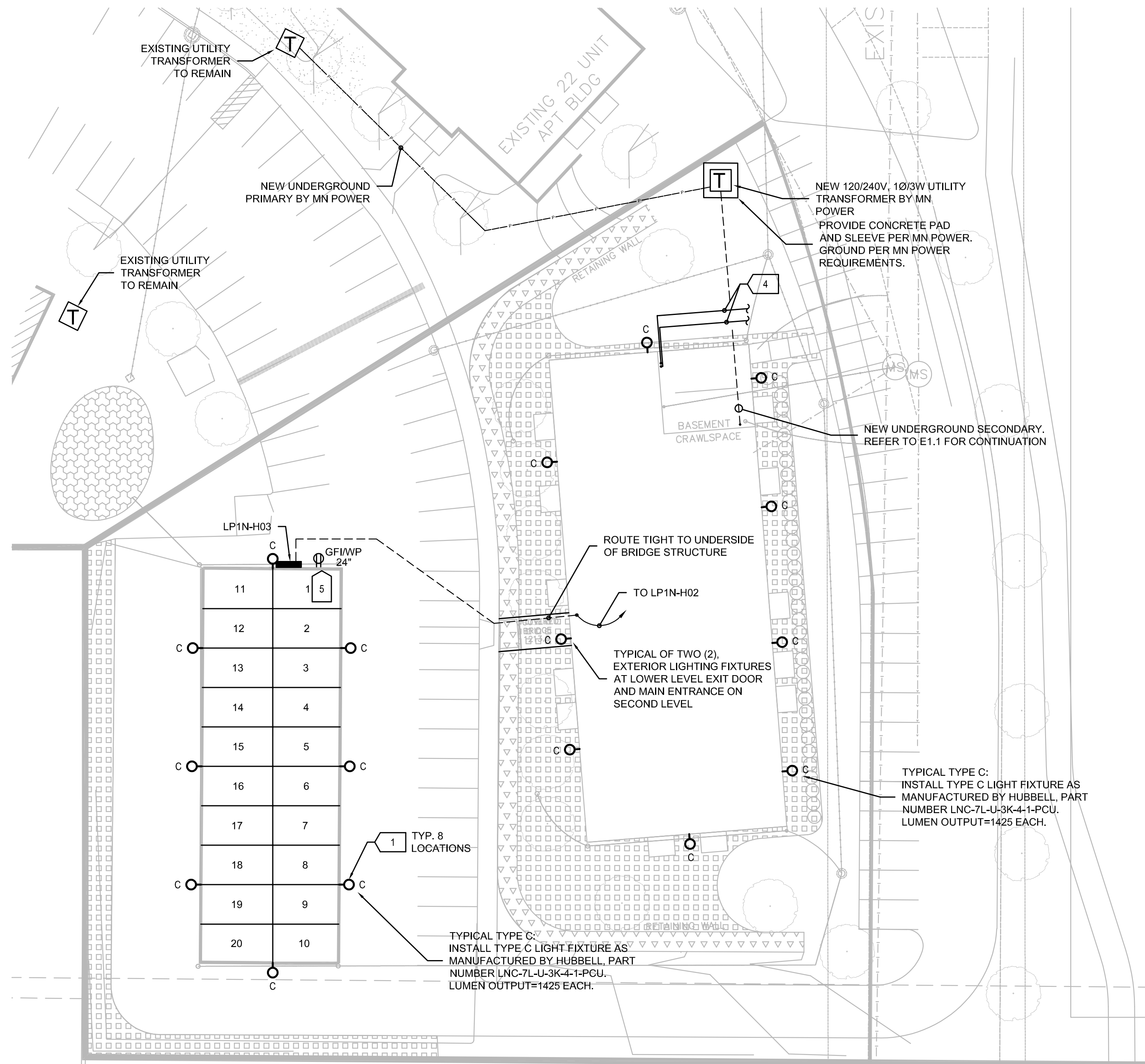
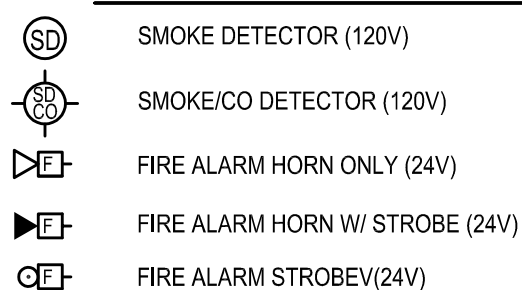
SIGNALS



OTHER



FIRE ALARM



PANEL DESIGNATION SYSTEM

- L3N-101
L = LIGHTING
P = POWER
D = DISTRIBUTION
S = SWITCHBOARD
M = MAIN BREAKER
R = RELAY PANEL
1 = 120/240V-1Ø
2 = 120/240-3Ø, 4W HL
3 = 120/208V-3Ø
4 = 277/480V-3Ø
5 = -SPECIAL-
N = NORMAL POWER SOURCE
E = EMERGENCY POWER SOURCE
U = UNINTERRUPTIBLE POWER SOURCE
G = GROUND FLOOR
1 = FIRST FLOOR
2 = SECOND FLOOR
ETC.
01 = PANELBOARD #1
02 = PANELBOARD #2
03 = PANELBOARD #3
ETC.



NUMBERED NOTES:

- 1. CONNECT EXTERIOR LIGHT FIXTURES/RECEPTACLE ON GARAGE BUILDING TO CLOSEST UNSWITCHED GARAGE CIRCUIT.
2. INSTALL KEYLESS PORCELAIN LIGHT FIXTURE WITH A19 LED IN EACH GARAGE STALL.
3. REFER TO PANELBOARD LP1N-H03 FOR BRANCH CIRCUIT REQUIREMENTS FOR EACH GARAGE LOCATION.
4. PROVIDE TWO (2) 2" CONDUITS WITH PULL STRING TO ALLEY/PROPERTY LINE FOR COMMUNICATION CABLING BY OTHERS.

INDEX OF ELECTRICAL DRAWINGS

- E0.1 ELECTRICAL TITLE SHEET
E1.1 OVERALL BUILDING FLOOR PLAN
E2.1 TYPICAL APARTMENT FLOOR PLAN
E2.2 PANEL SCHEDULES

ELECTRICAL TITLE SHEET

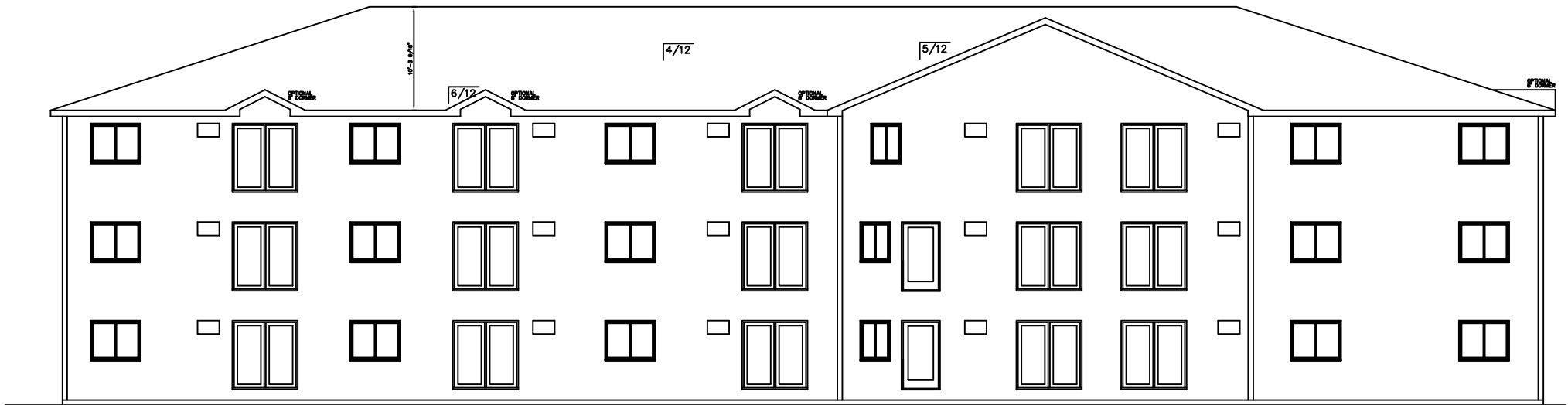
14th Street Apartments III

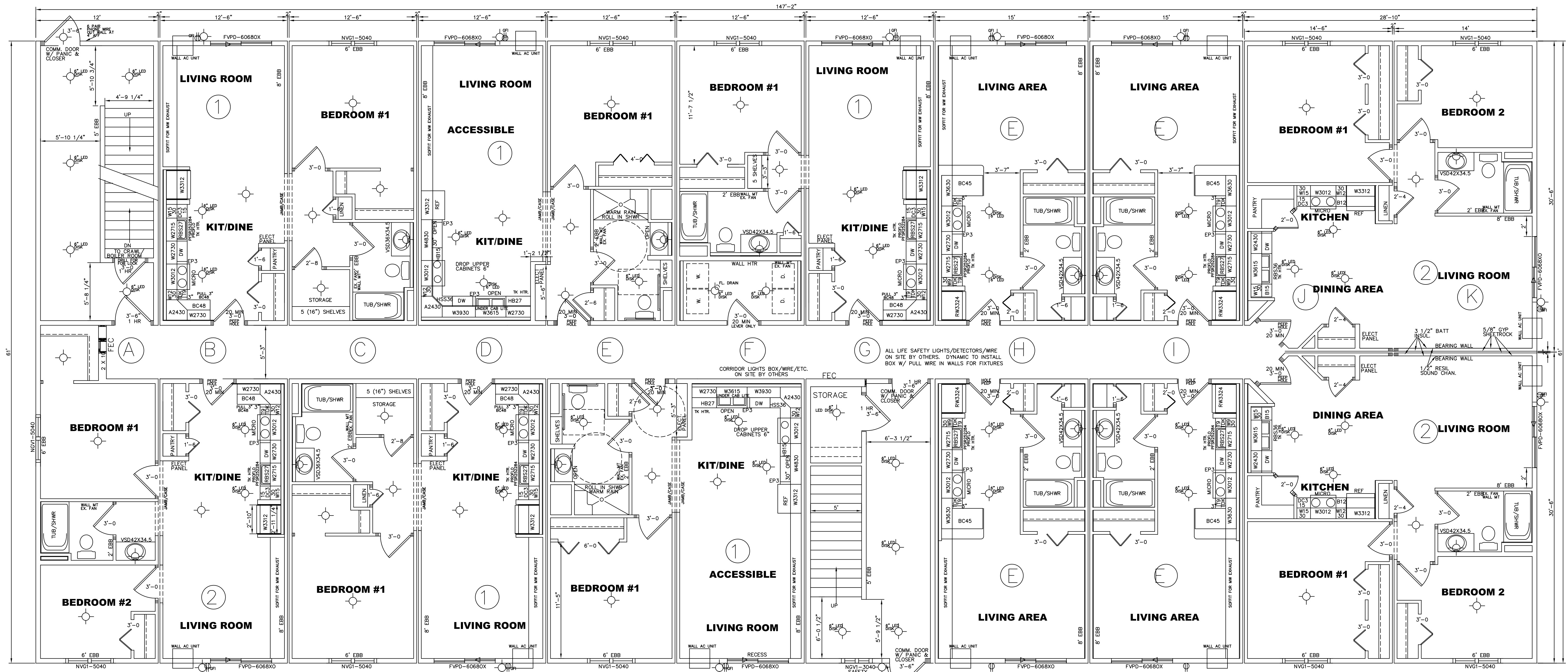
Cloquet, Minnesota

E0.1

Revisions table with columns: Date, Drawn, Checked, Proj. No.

Professional seal and information for Gausman & Moore, Electrical Engineers.





8977 SQ. FT. EA. FLOOR
26,931 SQ. FT. TOTAL

1ST LEVEL FLOOR PLAN

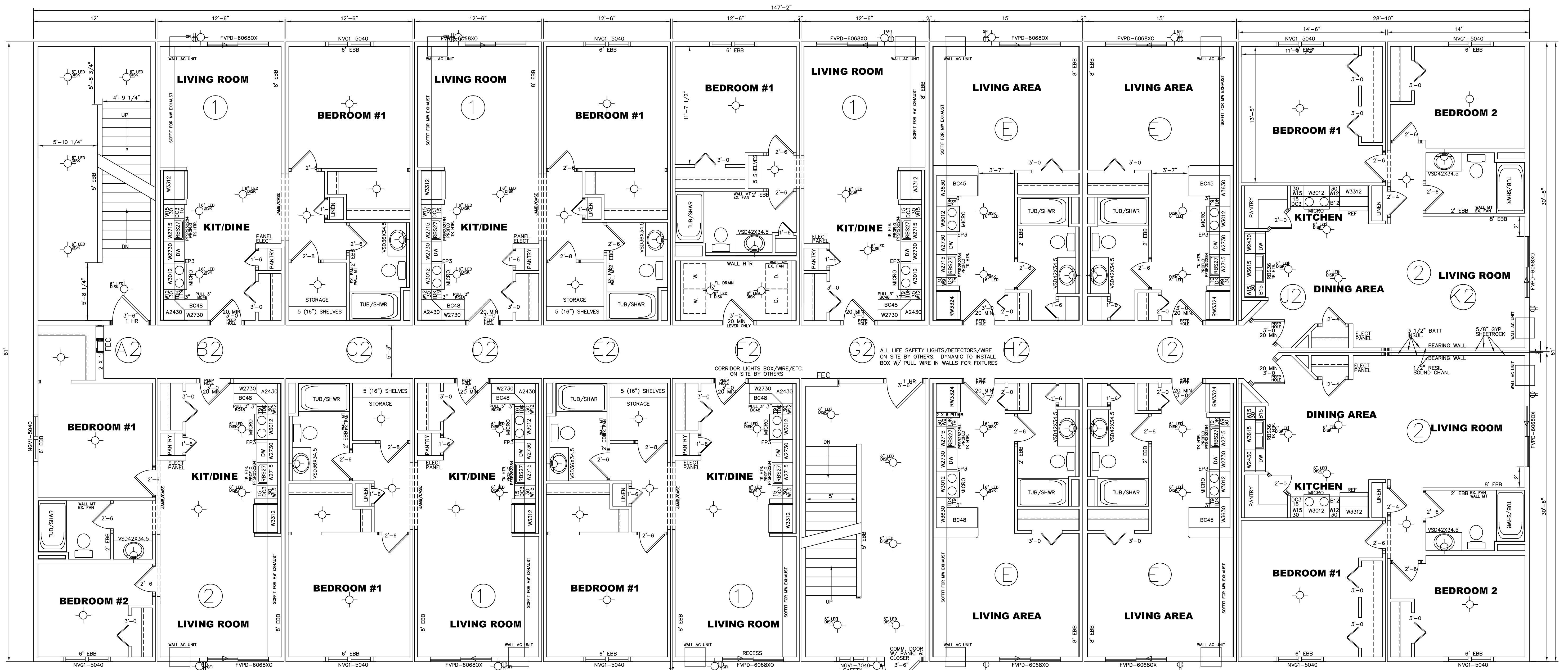
1/4"=1'-0" (DIMENSIONS FRAMING TO FRAMING)

M201685

- (4) EFFICIENCY APTS. PER FLOOR (12) TOTAL
- (5) 1 BEDROOM APTS. PER FLOOR (15) TOTAL
- (3) 2 BEDROOM APTS. PER FLOOR
- (2) OF ACCESSIBLE
- (9) TOTAL

36 LIVING UNITS TOTAL

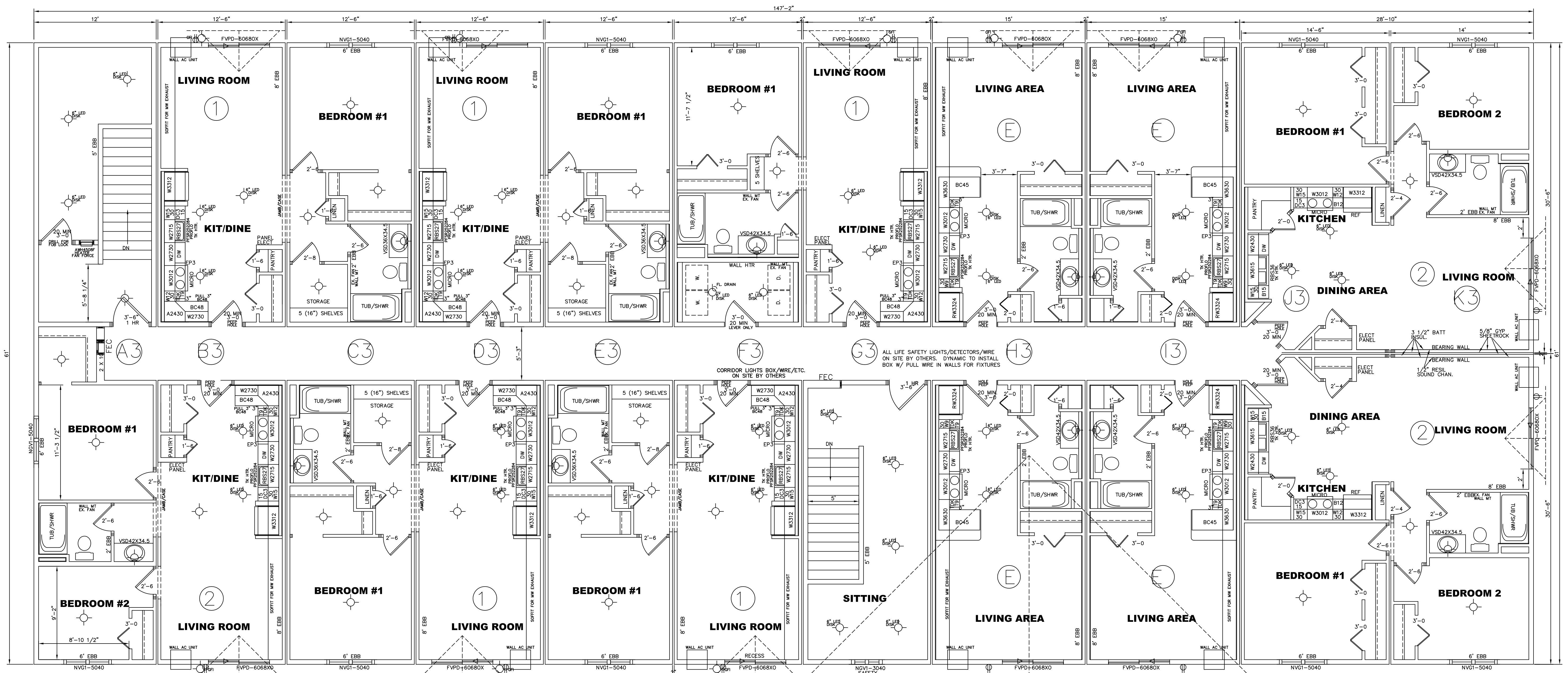
THERMOLEC FRESH AIR UNIT
IN EACH LIVINGROOM FOR SUPPLY
OF FRESH AIR TO LIVING ROOM/
BEDROOM AREA'S



2ND LEVEL FLOOR PLAN

1/4"=1'-0" (DIMENSIONS FRAMING TO FRAMING)

THERMOLEC FRESH AIR UNIT IN EACH LIVING ROOM FOR SUPPLY OF FRESH AIR TO LIVING ROOM/ BEDROOM AREA'S



3RD LEVEL FLOOR PLAN

1/4"=1'-0" (DIMENSIONS FRAMING TO FRAMING)

THERMOLEC FRESH AIR UNIT IN EACH LIVINGROOM FOR SUPPLY OF FRESH AIR TO LIVING ROOM/ BEDROOM AREA'S