



Regular Meeting of the Planning Commission

Tuesday, August 13, 2019

7 pm Regular Meeting

101 14th St, Cloquet, MN 55720

AGENDA

1. Call to Order
2. Roll Call
3. Additions/Changes to the Agenda
4. Minutes from the July 9, 2019 Planning Commission meeting

5. Zoning Case 19-10; LHB/Essentia Health, Site Plan

6. Commissioner's Questions/Comments

7. Adjourn

NEXT MEETING:

September 10th @ 7 pm



Regular Meeting of the Planning Commission

Tuesday, July 9, 2019

7:00 p.m.

101 14th Street, Cloquet, MN 55720

CALL TO ORDER

Chairman Wilkinson called the meeting to order at 7:03 p.m.

ROLL CALL

Attending: Planning Commission members: Terri Lyytinen, John Sanders, Mark Cline and Uriah Wilkinson; City: Al Cottingham.

Absent: Elizabeth Polling and Philip Demers.

Others Present: Dave Chmielewski.

ADDITIONS/CHANGES TO THE AGENDA

None.

AGENDA ITEMS

June 11, 2019 Meeting Minutes

Chairman Wilkinson asked for any corrections or additions.

Motion: **Commissioner Cline made a motion to approve the Planning Commission meeting minutes from June 11, 2019, Commissioner Lyytinen seconded. (Motion was approved 4-0).**

Zoning Case 19-03: Final Plat and Site Plan for Blackhoof Development

Chairman Wilkinson introduced Zoning Case 19-03, Final Plat and Site Plan for Blackhoof Development. Chairman Wilkinson asked Mr. Cottingham to provide an overview. Mr. Cottingham stated Blackhoof Development is proposing a Final Plat and Site Plan for the creation of one lot and the construction of a 36-unit apartment building and associated parking in the R3 – Multiple-Family Residence District. He stated all of the Ordinance minimum requirements were met. He stated Mr. Chmielewski was present to answer any questions.

Commissioner Sanders inquired if staff had an idea as to the percentage of impervious surface on the site.

Mr. Cottingham stated he would estimate it to be in the 80 to 85 percent range versus the maximum of 70 percent. He believes the city ok'd this with the concept plan since the city would be owning the land to the east and north for park purposes.



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There being no further discussion Chairman Wilkinson looked for a motion.

Motion: Commissioner Sanders made a motion to approve Resolution No. 19-03 Final Plat, A Resolution Recommending Approval of the Final Plat for the Second Amendment to Common Interest Community Number 5 14th Street Apartments Planned Development for Blackhoof Development, Commissioner Cline seconded. (Motion was approved 4-0).

Motion: Commissioned Lyytinen made a motion to approve Resolution No. 19-03 Site Plan, A Resolution Recommending Approval of a Site Plan in the R3 – Multiple Family Residence District for Blackhoof Development, Commissioner Cline seconded. (Motion was approved 4-0)

Mr. Cottingham noted that Planning Commission is only an advisory board and these recommendations would be forwarded to the City Council for action at their meeting on July 16, 2019 at 7:00 pm.

Commissioner's Questions/Comment

None.

Next Meeting

August 13, 2019

Meeting adjourned 7:20 p.m.

Respectfully submitted,

Al Cottingham, City Planner/Zoning Administrator



Community Development Department

101 14th Street • Cloquet MN 55720
Phone: 218-879-2507 • Fax: 218-879-6555

To: Planning Commission
From: Al Cottingham, City Planner/Zoning Administrator
Date: August 7, 2019

**ITEM DESCRIPTION: ZONING CASE 19-10: SITE PLAN LHB/ESSENTIA
CLINIC AT 1413 HIGHWAY 33 SOUTH**

Background

LHB/Essentia Health has submitted a Site Plan application. The site is located at 1413 Highway 33 South.

The Site Plan is for LHB/Essentia Health with associated parking, landscaping, grading and drainage and building location.

Site Plan

Attached, the Commission will find the following plans for this development:

- Site Plan
- Grading and Drainage Plan
- Utility Plan
- Landscape Plan
- Building Elevations

Stormwater Management: (Section 18.6)

The developer has also run a hydraulic model for storm water which has been reviewed by the City Engineer and meets requirements. The stormwater will be collected on site and then discharge into the Highway 33 ditch on the east of the site.

The Code requires private stormwater areas to meet the following requirements:

1. A permanent public easement shall be provided to the city for access for inspection and/or maintenance purposes. Cost incurred by the city for any maintenance of private systems will be billed and/or assessed to the owner/operator.
2. Recorded inspection and maintenance agreements that define inspection and maintenance responsibilities are required. A minimum annual inspection for private systems shall be required. These requirements are transferrable to any party that becomes the owner/operator of the site.



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3. An inspection and maintenance plan shall be developed, approved and included as an attachment to the maintenance agreement. At a minimum, maintenance plans must include the following:
 - a. Responsible person(s) for completing inspections and conducting maintenance.
 - b. Frequency of inspections and maintenance.
 - c. Inspection checklist and type of maintenance anticipated.
4. If site configurations or structural stormwater BMPs change, causing decreased BMP effectiveness, new or improved structural stormwater BMPs must be implemented to meet the requirements of this section.
5. The property owner shall keep on file all structural stormwater BMP annual inspection and maintenance records for 5 years and submit to the City as requested.
6. The City shall require the submittal of a letter of credit or other financial security in a form acceptable to the city in the amount of \$5,000 to ensure the stormwater treatment systems are installed correctly and in accordance with this ordinance.

Impervious Surface: (Section 17.6.11, Subd. 5. E and F)

The zoning district allows the maximum building coverage to be 60% with a maximum impervious surface coverage of 70%. The total impervious surface coverage is approximately 52%.

Building Setbacks: (Section 17.6.11, Subd. 5. B)

The ordinance requires that the minimum front setback be 35 feet, the minimum side yard setback be 20 feet and the minimum rear yard setback be 30 feet. The proposed building location meets or exceeds these minimum requirements.

Landscaping: (Section 17.5.04 Subd. 5.)

The landscape plan shows 31 overstory plantings plus understory trees and shrubs, the site is required to have 24 overstory plantings in addition to understory trees and shrubs.

Parking: (Section 17.5.11 Subd. 6.)

The site is required to have 50 parking spaces based on 1 parking stall per every 200 sq. ft. of building. The site plan shows 55 parking spaces. There will be drop off lane on the west side of the building.

Trash Storage: (Section 17.5.15 Subd. 7. A (7))

The trash storage area can either be inside the building or an exterior enclosure. The trash storage area will be inside an exterior enclosure.

Signage: (Section 17.5.13 Subd. 14.)

A wall sign is shown on the east elevation at this time. Any ground or pylon sign will need to meet the Ordinance requirements.



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Lighting: (Section 17.5.12 Subd. 5. B)

The applicant has provided a photometric plan along with detail sheets which display downward facing fixtures that emit footcandle readings that are compliant with City lighting standards.

Highway 33 Design Standards: (Section 17.5.15)

All aspects of the Highway 33 Design Standards have been met.

Other Site Plan Items:

A sidewalk is shown along Gillette Road adjacent to the site with curb and gutter also being installed on the west side of Gillette Road. They may wish to consider extending a sidewalk from the building to Gillette Road.

Policy Objectives

The purpose of this Site Plan Review application is to ensure that this development project is aligned with city development standards.

Financial Impacts

The Site Plan fee were paid.

Advisory Committee Action Requested

The Commission should review the Site Plan and consider any comments pertaining to it. Following this review, the Planning Commission can recommend approval of the request, recommend denial of the request or table the request for some additional information.

Staff Recommendation

Staff would recommend approval of the Site Plan subject to at least the conditions in the attached resolution.

Supporting Documents Attachments

- Resolution No. 19-10
- Location Map
- Engineer's Memo
- Site Plan Maps

STATE OF MINNESOTA

COUNTY OF CARLTON

CITY OF CLOQUET

Commissioner _____ offered the following Resolution and moved its adoption.

RESOLUTION NO. 19-10

**A RESOLUTION RECOMMENDING APPROVAL OF A SITE PLAN IN THE RC –
REGIONAL COMMERCIAL DISTRICT FOR LHB/ESSENTIA HEALTH**

WHEREAS, LHB/Essentia Health is proposing a Site Plan in the RC – Regional Commercial District for a 10,000 square foot building; and

WHEREAS, the property of the proposed Site Plan is located at 1413 Highway 33 South and is legally described as follows:

Lots 2 and 3, Gillettes’s Subdivision, Carlton County, Minnesota, Except the east 50 feet thereof conveyed for public road purposes. And,

WHEREAS, the Planning Commission reviewed the staff report and recommends approval of the Site Plan.

NOW, THEREFORE, BE IT RESOLVED, BY THE PLANNING COMMISSION OF THE CITY OF CLOQUET, MINNESOTA, that the Planning Commission recommends approval of Zoning Case 19-10 for a site plan for LHB/Essentia Health for a 10,000 square foot building subject to the following conditions:

1. The required easements, inspection and maintenance agreements, inspection and maintenance plan, financial guarantee and other items as required for the stormwater BMPs must be submitted before a building permit is issued.
2. Compliance with the Assistant City Engineer’s Memo dated August 2, 2019.
3. The three tax parcels shall be combined into one tax parcel prior to the issuance of the building permit.
4. Signage shall comply with the Ordinance requirements.

The foregoing motion was duly seconded by Commissioner _____ and being put to vote members voted: AYE: _____ NAY: _____ ABSENT: _____

MARK CLINE	_____	PHILIP DEMERS	_____
TERRI LYYTINEN	_____	ELIZABETH POLLING	_____
JOHN SANDERS	_____	URIAH WILKINSON	_____

Passed and adopted this 13th day of August 2019.

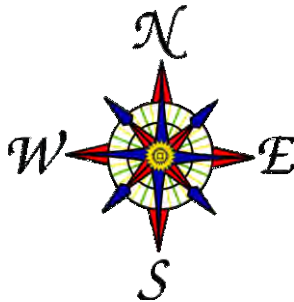
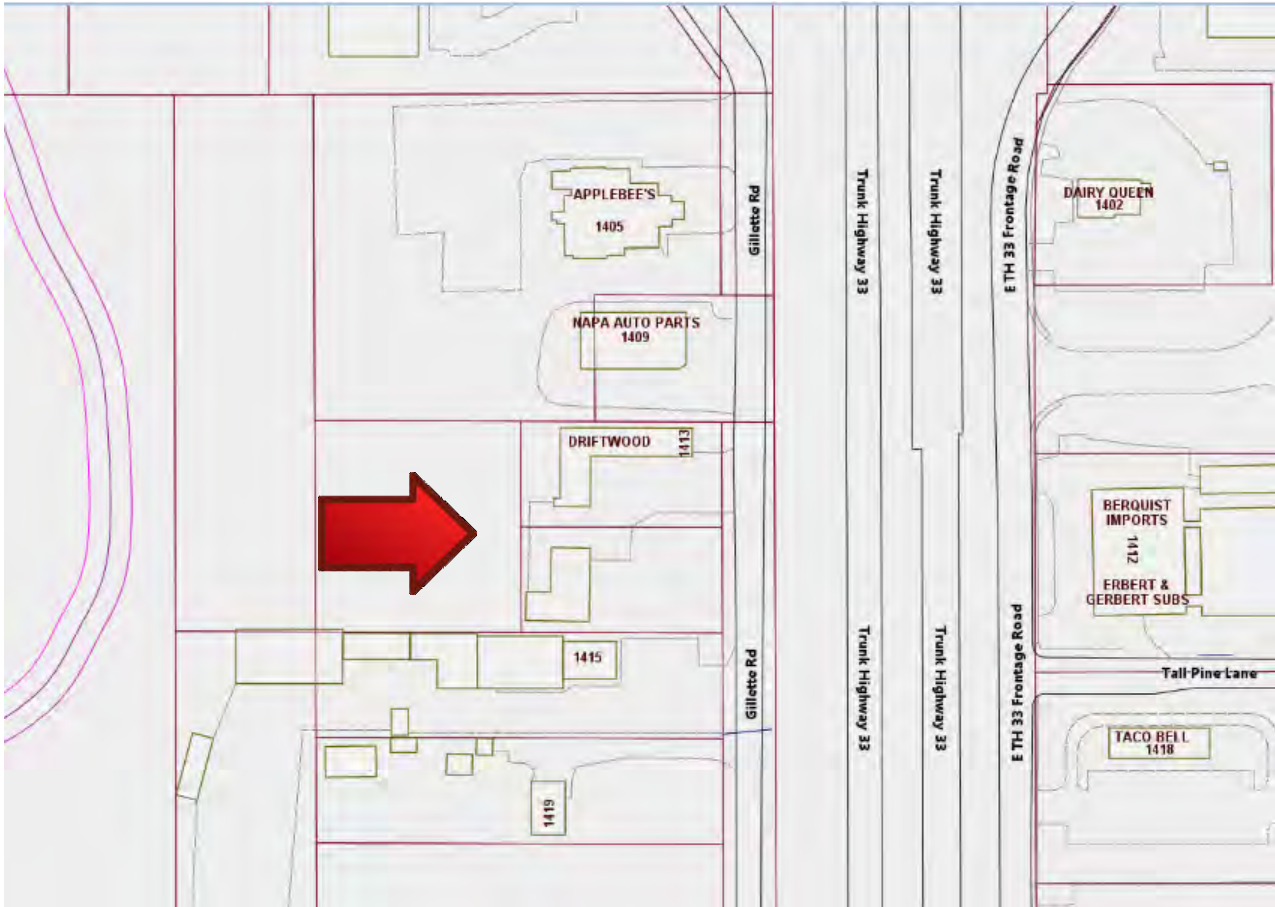
CITY OF CLOQUET

URIAH WILKINSON
CHAIR

ATTEST: _____
Alan Cottingham
City Planner/Zoning Administrator

Location Map

LHB/Essentia Health



No Scale



DEPARTMENT OF PUBLIC WORKS

1307 Cloquet Avenue; Cloquet, MN 55720
Phone: (218) 879-6758 Fax: (218) 879-6555
Street - Water - Sewer – Engineering - Park
www.ci.cloquet.mn.us

MEMO

To: Al Cottingham, City Planner
From: John Anderson, Assistant City Engineer
Date: August 2, 2019

SUBJECT: Essentia Health Clinic– 1st Review

I have reviewed the Site plan materials, dated 7-23-19, submitted by LHB. The plans and submittal materials contained the following items:

T1 PROJECT TITLE SHEET
A1 FLOOR PLAN
A2 EXTERIOR ELEVATIONS
A3 EXTERIOR IMAGES
C1.01 SWPPP
C1.02 SWPPP
C1.05 EROSION CONTROL PLAN
C2.01 REMOVALS PLAN
C3.01 GRADING PLAN
C4.01 SURFACING AND LAYOUT PLAN
C5.01 UTILITY PLAN
L1.01 LANDSCAPE PLAN
SL1 SITE LIGHTING PLAN

Sheets C3.01, C4.01, C5.01 were revised on 8/1/19

Also provide was a drainage report dated 7/22/19 prepared by Nathan Bruno of LHB

The following are my comments on the plans submitted to date;

SWPPP – C1.01

1. This plan will require a NPDES construction permit as well as a city issued grading permit.
2. The site will be required to establish a stormwater utility account and contribute based on the amount of impervious on site
3. A bond in the amount of \$5000 will need to be provided to insure proper function of the stormwater treatment pond.

4. The following data on Sheet C1.01 does not appear correct

3) IMPERVIOUS SURFACE AREAS / WATER QUALITY VOLUME:

- a. PRE-CONSTRUCTION IMPERVIOUS (PERMIT ITEM 5.8): 0.45 ACRES
- b. POST-CONSTRUCTION IMPERVIOUS (PERMIT ITEM 5.8): 0.00 ACRES
- c. NET NEW IMPERVIOUS: -0.45 ACRES
- d. WATER QUALITY VOLUME: NA
- e. ACTUAL WATER QUALITY VOLUME RETAINED ON-SITE / METHOD OF RETENTION: NA
- f. THE REASON THE FULL WATER QUALITY VOLUME CANNOT BE INFILTRATED (PER PERMIT ITEM 5.15):
NA
- g. REMAINDER OF WATER QUALITY VOLUME AND ALTERNATIVE TREATMENT METHOD: NA

5. A Stormwater maintenance plan is required and shall be developed by the engineer to describe longterm inspection and maintenance of the stormwater treatment systems onsite.

City Coad Chapter 18.6

Subd. 6. Maintenance of Structural Storm water BMPs. Maintenance of any structural storm water BMP that the city determines to be private shall meet the following requirements:

- a) A permanent public easement shall be provided to the city for access for inspection and/or maintenance purposes. Costs incurred by the city for any maintenance of private systems will be billed and/or assessed to the owner/operator.
- b) Recorded inspection and maintenance agreements that define inspection and maintenance responsibilities are required. A minimum annual inspection for private systems shall be required. These requirements are transferrable to any party that becomes the owner/operator of the site.
- c) An inspection and maintenance plan shall be developed, approved and included as an attachment to the maintenance agreement. At a minimum, maintenance plans must include the following:
 - 1) Responsible person(s) for completing inspections and conducting maintenance.
 - 2) Frequency of inspections and maintenance.
 - 3) Inspection checklist and type of maintenance anticipated.
- d) If site configurations or structural storm water BMPs change, causing decreased BMP effectiveness, new or improved structural storm water BMPs must be implemented to meet the requirements of this section.
- e) The property owner shall keep on file all structural storm water BMP annual inspection and maintenance records for 5 years and submit to the City as requested.

Removal Plan C2.01

- 6. The existing 18" CMP crossing the Gillett Road at the northeast corner of the site is corroded and will be impossible to connect a catch basin to. This pipe should be removed and replaced with a new pipe to build a catch basin on in the new curb line
- 7. Sanitary sewer and water service to the south building has not been located. The City has no record of a sewer and water service to this building. The building may be served by a septic system or tied into the service for the motel building. In either case the service to this building should be identified and properly abandoned.

8. In order to add curb along the edge of Gillette Road the edge of pavement will need to be saw cut and the edge bituminous removed for placement of the concrete forms. An 18 to 24 inch strip of bituminous patch (3 ½ inches thick) would then need to be placed to tie the existing pavement to the new curb.
9. During removal of the pavement and installation of the utilities crossing Gillette Road traffic control will be required to close the road. The contractor will need to provide road closed signs. No detour is necessary due to the low volume of traffic but the road closure should not remain in place over night. This pavement must be replaced within 30 days of removal and under no circumstances can this be left as gravel over the winter months.

Grading Plan C3.01

10. Spot grades along Gillett Road have not been shown. The intent as we understand it is to follow the profile of the existing pavement with the new curb. A note should be added to make this clear
11. The 100 yr hwl of the pond should be labeled
12. The drainage along the north side of the pond appears to route surface drainage from the NAPA parking lot to the flared end section but no elevations are shown for this swale.
13. Grading in the MnDOT ditch will be necessary to get apron APR-301 to drain to the ditch shot of 1200.1 A MnDOT permit is needed for this work.
14. Type of plantings in the stormwater treatment area should be identified. Is this intended to be a turf grass area or will it have native deeper rooted plantings?

Surfacing and Layout Plan C4.01

15. Width of Gillett Road to Back of curb, boulevard and side walk should be shown.
16. Sidewalk along Gillette Road at north end appears to be close to the existing power pole.
17. Sidewalk along Gillette Road at the north end should extend to the new curb.
18. The plan should identify the curb along Gillette Road to be B618 style

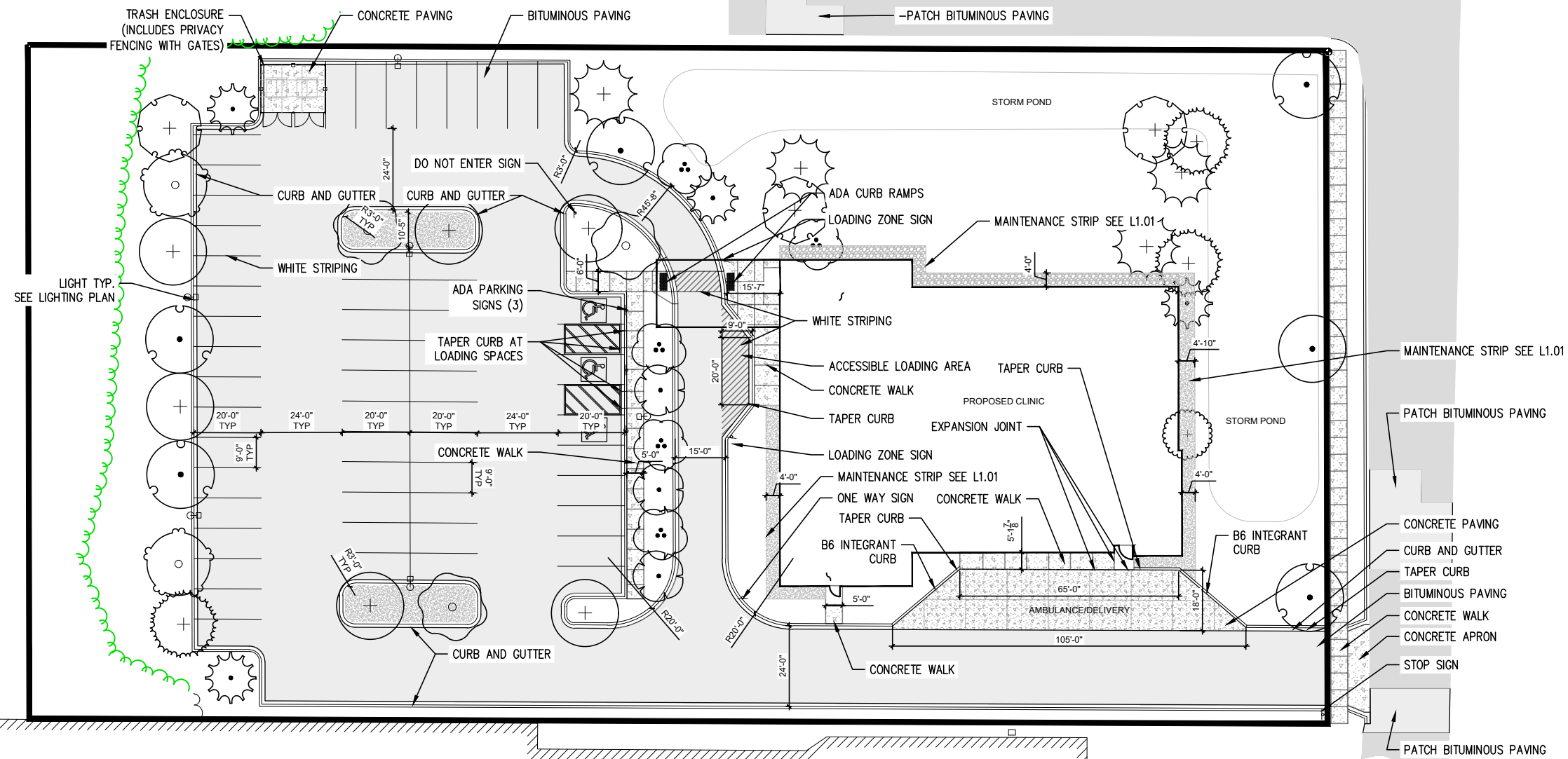
Utility Plan C5.01

19. Water service should be shown to be wet tapped on the main with a 6 inch gate valve at the tap location. Additional valve at the building as shown is not needed.
20. A MnDOT permit will be required for the water connection in the MnDOT ROW
21. Water service will be under storm sewer open to the north which may be susceptible to cold air intrusion and deeper than normal frost. Consider insulating or relocating.
22. Sanitary sewer service has only 4 to 5 feet of cover where it crosses the storm sewer apron. Consider relocating it further south or insulating it.
23. A sewer connection permit from the City of Cloquet will be required for this work
24. A water service connection permit from the city of Cloquet will be required for this work.

25. Tracer wire along with ground rods, access boxes in accordance with Minnesota Rural Water standards should be installed along with sewer and water services.
26. The plans should identify the catch basin casting type along Gillette Road to be R-3067-V
27. The existing culvert at the north east corner of the site should be replaced with a new 12" HDPE or CMP pipe crossing Gillette Road
28. The size slope and pipe materials are not shown on the utility plan, please included them.
29. Storm sewer structure sizes and castings are not identified in the plan.
30. Riprap is needed at all storm sewer outlets.
31. A plumbing permit from the Minnesota Department of Labor and Industry or Dept of Health will be required for the sewer, water and storm sewer on this site.
32. WLSSD will require a CAF fee be collected for the site.
33. As built drawings of utilities constructed need to be prepared and submitted at completion of the work.

Drainage Report

34. The storm water treatment design meets are requirements set forth in City Code Chapter 18, and the NPDES permit include requirements for a special water
35. As mentioned previously a maintenance plan for inspection and operation of the stormwater treatment system on site needs to be developed, and recorded with Carlton County



THIS SQUARE APPEARS 1/2" x 1/2" ON FULL SIZE SHEETS.

NO	DATE	ISSUED FOR
01	07/23/2019	CITY SITE PLAN REVIEW
01	08/01/2019	REVISED STORM SEWER FOR CITY REVIEW

I HEREBY CERTIFY that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

SIGNATURE: *Heidi S. Bringman*
 TYPED OR PRINTED NAME: HEIDI S. BRINGMAN
 DATE: 07/23/19 REG. NO.: 46914

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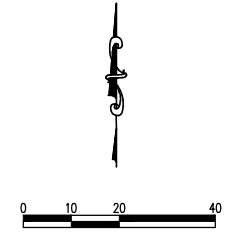
PROJECT NAME:
**CLOQUET CLINIC
 ESSENTIA**

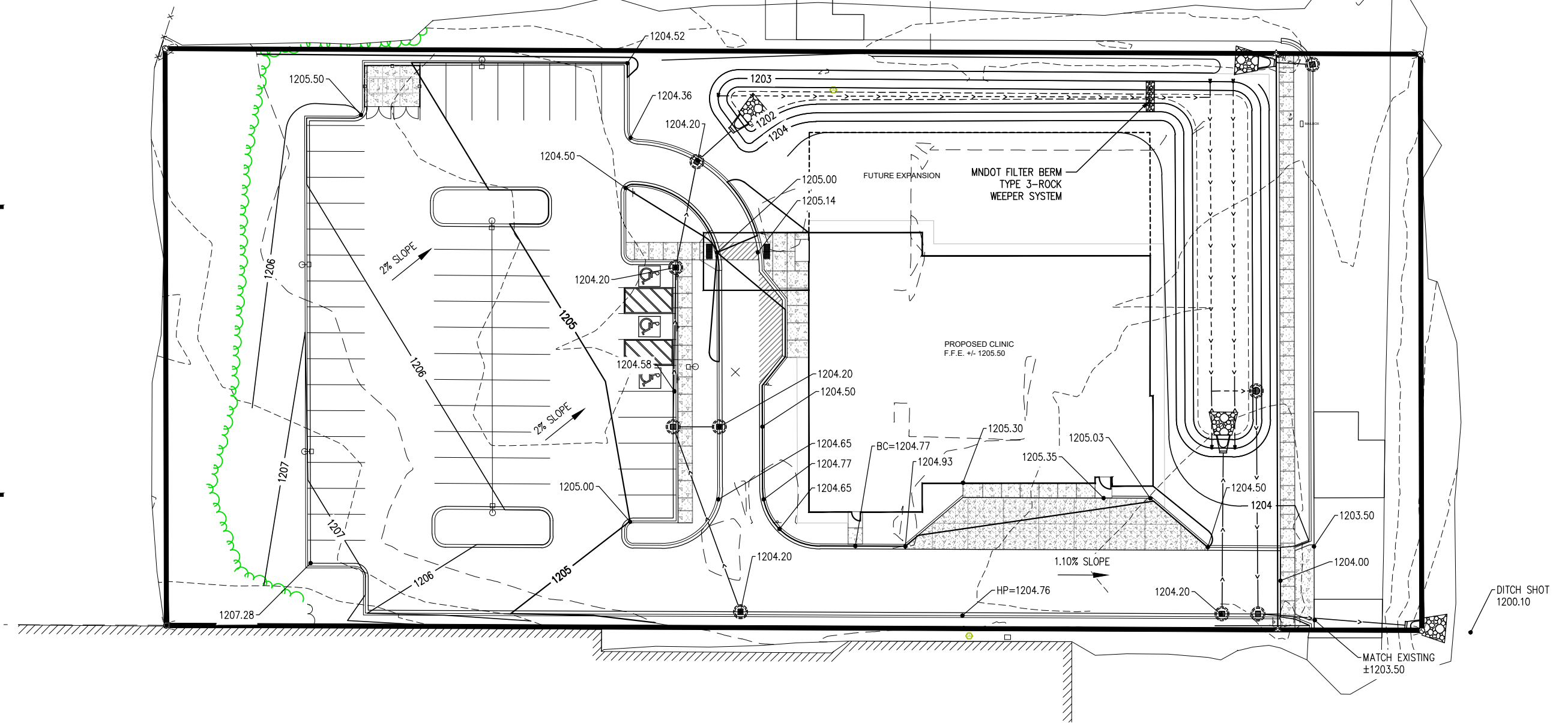
1413 HWY 33 SOUTH
 CLOQUET, MN

DRAWING TITLE:
**SURFACING AND
 LAYOUT PLAN**

FILE: .190078600 Drawings\C190078-04-PLAN-C4.00.dwg
 DRAWN BY: RMJ
 CHECKED BY: HSB
 PROJ. NO: 190078
 DRAWING NO:

- GENERAL NOTES:
1. PARKING SPACE TABULATION
 1 PARKING SPACE PER 200 SQ. FT OF FLOOR AREA
 10,000 SQ FT/200 SQ FT = 50 PARKING SPACES
 55 PARKING SPACES, 3 ACCESSIBLE
 2. SETBACKS = 35' FRONT, 20' SIDE, 30' REAR
 3. IMPERVIOUS SURFACE = 52% (70 % MAX)





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NO	DATE	ISSUED FOR
01	07/23/2019	CITY SITE PLAN REVIEW
01	08/01/2019	REVISED STORM SEWER FOR CITY REVIEW

I HEREBY CERTIFY that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

SIGNATURE: *Nathan J. Bruno*

TYPED OR PRINTED NAME: NATHAN J. BRUNO

DATE: 7/23/19 REG. NO.: 46584

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PROJECT NAME:
**CLOQUET CLINIC
 ESSENTIA**

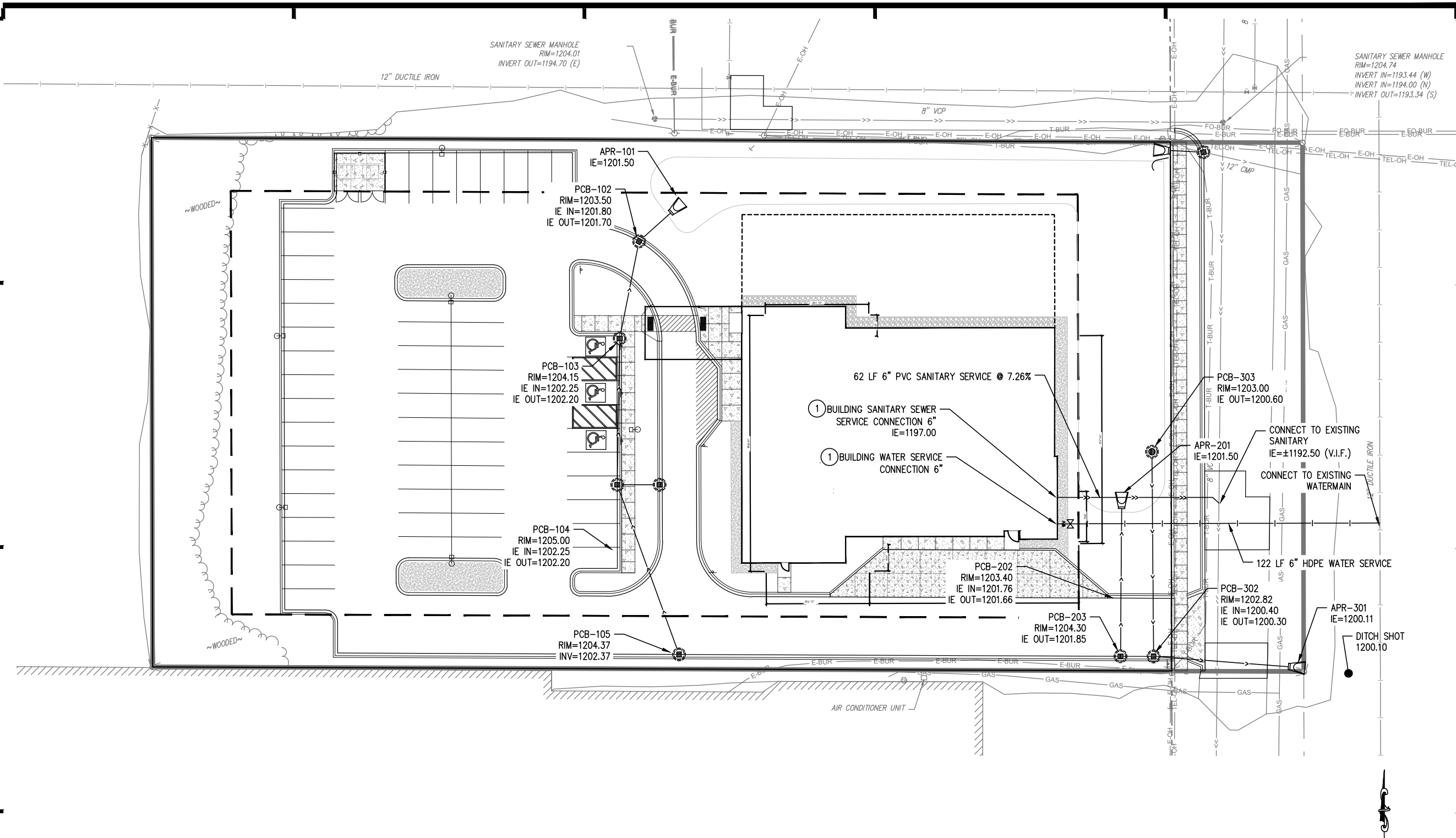
1413 HWY 33 SOUTH
 CLOQUET, MN

DRAWING TITLE:
GRADING PLAN



**PERFORMANCE
DRIVEN DESIGN.**
LHBcorp.com

701 Washington Ave. N, Ste 200 | Minneapolis, MN 55401 | 612.338.2029



KEY NOTES:
1 VERIFY SIZE, LOCATION AND ELEVATION OF UTILITIES WITH MECHANICAL DRAWING

THIS SQUARE APPEARS 1/2" x 1/2" ON FULL SIZE SHEETS.

01	07/23/2019	CITY SITE PLAN REVIEW
NO	DATE	ISSUED FOR

01	08/01/2019	REVISED STORM SEWER FOR CITY REVIEW
NO	DATE	REVISION

I HEREBY CERTIFY that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

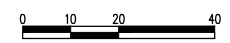
SIGNATURE: *Nathan J. Bruno*
TYPED OR PRINTED NAME: NATHAN J. BRUNO
DATE: 7/23/19 REG. NO.: 46584

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PROJECT NAME:
**CLOQUET CLINIC
ESSENTIA**

1413 HWY 33 SOUTH
CLOQUET, MN

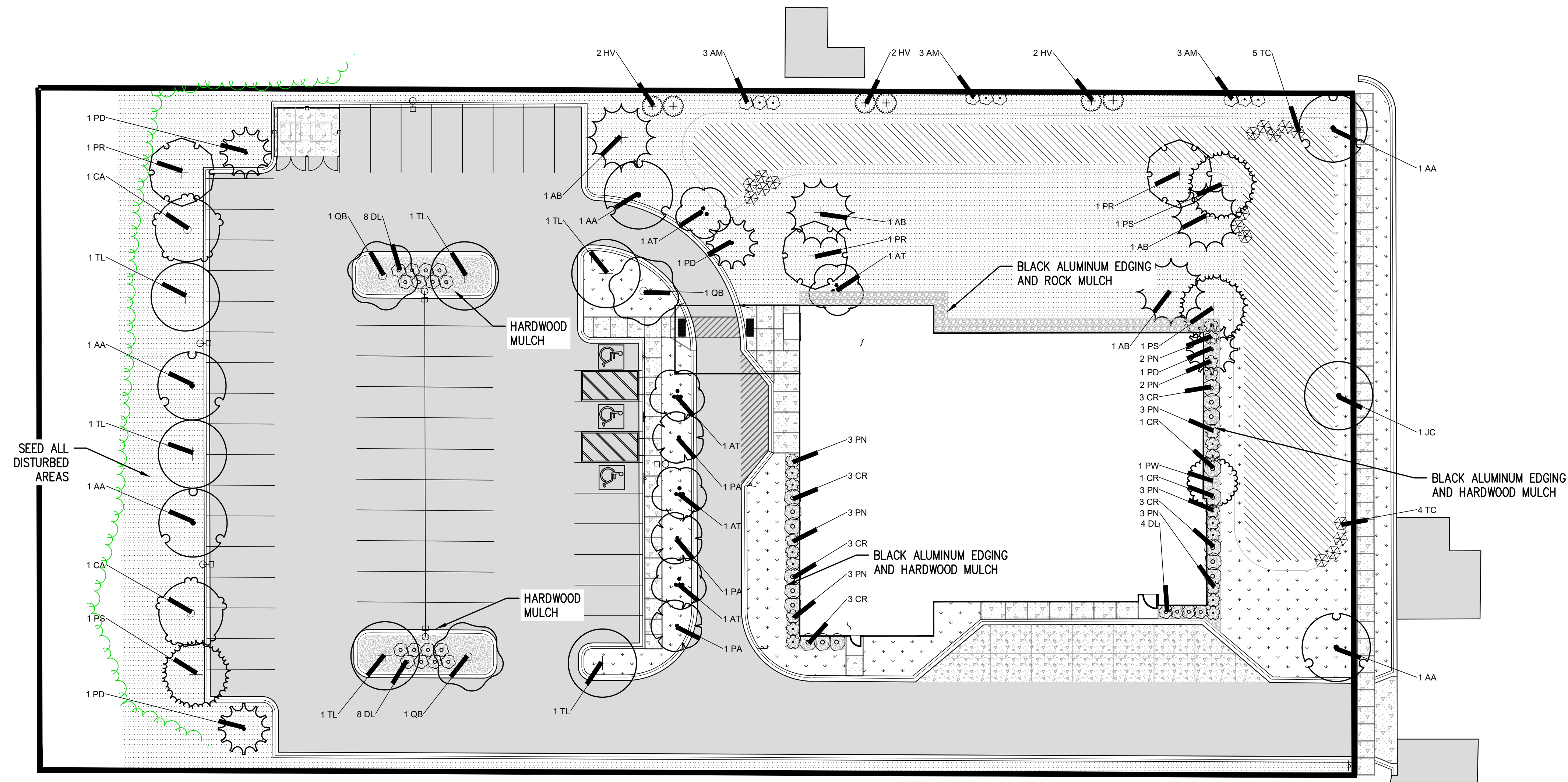
DRAWING TITLE:
UTILITY PLAN



FILE: .190078\600 Drawings\C190078-05-UTILITIES-C5.00.dwg
DRAWN BY: XXX
CHECKED BY: XXX
PROJ. NO: 190078
DRAWING NO:

C5.01

GENERAL NOTES:
 1. PARKING LOT LANDSCAPING = 12% (7% MIN)
 2. PARKING LOT SHADE COVERAGE = 15% (15% MIN)

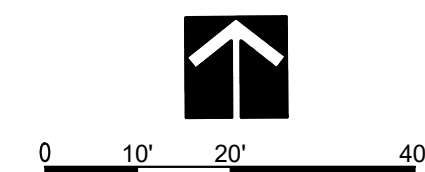


PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT
	AB	4	Abies balsamea / Balsam Fir	5' B&B
	AA	5	Acer rubrum 'Autumn Blaze' / Autumn Blaze Red Maple	2-1/2" CAL
	AT	5	Amelanchier interior / Inland Serviceberry	1-1/2" CAL.
	CA	2	Carpinus caroliniana / American Hornbeam	2-1/2" CAL
	JC	1	Juglans cinerea / Butternut	2-1/2" CAL
	PD	4	Picea glauca 'Densata' / Black Hills Spruce	5' B&B
	PR	3	Pinus resinosa / Red Pine	5' B&B
	PS	3	Pinus strobus / White Pine	5' B&B
	PA	3	Prunus americana / American Plum	1-1/2" CAL.
	PW	1	Prunus serotina / Wild Black Cherry	1-1/2" CAL.
	QB	3	Quercus bicolor / Swamp White Oak	2-1/2" CAL
	TL	6	Tilia americana / American Linden	2-1/2" CAL

SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	SPACING
	AM	9	Aronia melanocarpa / Chokeberry	#5 CONT.	48" o.c.
	CR	17	Cornus sericea / Red Twig Dogwood	#5 CONT.	60" o.c.
	DL	20	Diervilla lonicera / Dwarf Bush Honeysuckle	#5 CONT.	48" o.c.
	HV	6	Hamamelis virginiana / Common Witch Hazel	#5 CONT.	72" o.c.
	PN	22	Physocarpus opulifolius / Ninebark	#5 CONT.	48" o.c.
	TC	17	Taxus canadensis / American Yew	#5 CONT.	48" o.c.

GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT
	NR	5,288 sf	B10-5	None
	NS	16,532 sf	No Mow Mix Seed	None
	TS	5,764 sf	Sod	None



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NO	DATE	ISSUED FOR
01	07/23/2019	CITY SITE PLAN REVIEW

NO	DATE	REVISION

I HEREBY CERTIFY that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Landscape Architect under the laws of the State of Minnesota.

SIGNATURE:

TYPED OR PRINTED NAME: HEIDI S. BRINGMAN

DATE: 07/23/19 REG. NO.: 46914

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PROJECT NAME:
**CLOQUET CLINIC
 ESSENTIA**

1413 HWY 33 SOUTH
 CLOQUET, MN

DRAWING TITLE:
LANDSCAPE PLAN

FILE: ...190078\600 Drawings\LA\190078.L101 Landscape Plan.dwg
 DRAWN BY: RMJ
 CHECKED BY: HSB
 PROJ. NO: 190078
 DRAWING NO:



NORTH ELEVATION



EAST ELEVATION



NICHIHA (FIBER CEMENT SIDING)
VINTAGEWOOD SERIES
COLOR: REDWOOD



SOUTH ELEVATION



LP SMART SIDING
FINISH: SMOOTH FINISH LAP SIDING
COLOR: SW 9162 AFRICAN GRAY



WEST ELEVATION



LP SMART SIDING
FINISH: SMOOTH FINISH LAP SIDING
COLOR: SW 7076 CYBERSPACE

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SOUTH EAST PERSPECTIVE



SOUTH WEST PERSPECTIVE

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