



Regular Meeting of the Planning Commission

Tuesday, March 10, 2020

7 pm Regular Meeting

101 14th Street, Cloquet, MN 55720

AGENDA

1. Call to Order
2. Roll Call
3. Additions/Changes to the Agenda
4. Minutes from the January 14, 2020 Planning Commission meeting
5. Zoning Case 20-01; Lenny Conklin, Site Plan
6. Zoning Case 20-02: AT&T Mobility/Hall Institute, Inc., Conditional Use Permit
7. Discussion - Mobile Storage Structures & Highway 33 Design Standards
8. Discussion – Short Term Vacation Rentals
9. Commissioner’s Questions/Comments
10. Adjourn

NEXT MEETING:

April 7th @ 5:30 pm Joint mtg with City Council

April 14th @ 7 pm



Regular Meeting of the Planning Commission

Tuesday, January 14, 2020

7:00 p.m.

101 14th Street, Cloquet, MN 55720

OATH OF OFFICE

Cottingham administered the Oath of Office to member Lyytinen.

CALL TO ORDER

Chairman Wilkinson called the meeting to order at 7:00 p.m.

ROLL CALL

Attending: Planning Commission members: Uriah Wilkinson, Elizabeth Polling Terri Lyytinen, Rob Zappia, John Sanders and Mark Cline; City: Al Cottingham.

Absent: Philip Demers.

Others Present: None.

ADDITIONS/CHANGES TO THE AGENDA

None.

AGENDA ITEMS

Election of Chairperson and Vice Chairperson

Motion: Commissioner Polling made a motion to appoint Uriah Wilkinson as Chairperson, Commissioner Lyytinen seconded. (Motion was approved 6-0).

Motion: Commissioner Polling made a motion to appoint John Sanders as Vice Chairperson, Commissioner Lyytinen seconded. (Motion was approved 6-0).

December 10, 2019 Meeting Minutes

Chairman Wilkinson asked for any corrections or additions.

Motion: Commissioner Cline made a motion to approve the Planning Commission meeting minutes from December 10, 2019, Commissioner Lyytinen seconded. (Motion was approved 6-0).

Zoning Case 19-15: Zoning Ordinance Text Amendment for the City of Cloquet

Chairman Wilkinson introduced Zoning Case 19-15, Zoning Ordinance Text Amendment for the City of Cloquet. He noted that this had been discussed at the prior meeting with direction to Mr. Cottingham for some changes to the language. He felt Mr. Cottingham had made the changes that were requested.



Regular Meeting of the Planning Commission

Tuesday, January 14, 2020

7:00 p.m.

101 14th Street, Cloquet, MN 55720

The Commission discussed the proposed changes to the language and had no further changes to the language.

There being no further discussion Chairman Wilkinson looked for a motion.

Motion: **Commissioner Zappia made a motion to approve Resolution No. 19-15, A Resolution Recommending Approval of Ordinance No. 486A Relating to Residential Uses in the Historic Commercial District, Commissioner Lyttinen seconded. (Motion passed 6-0)**

Mr. Cottingham stated this would be forwarded to the City Council for their January 21, 2020 meeting.

February Meeting

Mr. Cottingham noted that the February meeting if we have one will be on Wednesday, February 12th since there is a special election on February 11th.

Commissioner's Questions/Comment

The Commission discussed the I & I (Infill and Infiltration) as it pertains to realtors and accessory apartments in a separate structure on the same lot as the house.

Next Meeting

February 12, 2020

Meeting adjourned 7:28 p.m.

Respectfully submitted,

Al Cottingham, City Planner/Zoning Administrator



Community Development Department

101 14th Street • Cloquet MN 55720
Phone: 218-879-2507 • Fax: 218-879-6555

To: Planning Commission
From: Al Cottingham, City Planner/Zoning Administrator
Date: August 7, 2019

**ITEM DESCRIPTION: ZONING CASE 20-01: SITE PLAN LEONARD CONKLIN
EAST OF 909 STANLEY AVENUE**

Background

Leonard Conklin has submitted a Site Plan application. The site is located east of 909 Stanley Avenue

The Site Plan is for Leonard Conklin with associated parking, landscaping, grading and drainage and building location.

Site Plan

Attached, the Commission will find the following plans for this development:

- Site Plan
- Grading and Drainage Plan
- Utility Plan
- Landscape Plan
- Building Elevations

Stormwater Management: (Section 18.6)

The developer has also run a hydraulic model for storm water which has been reviewed by the City Engineer and needs some minor changes. The stormwater will be collected on site and then discharge to the west along the rear property lines of the site to the west. There is an existing drainage and utility easement along that property line.

The Code requires private stormwater areas to meet the following requirements:

1. A permanent public easement shall be provided to the city for access for inspection and/or maintenance purposes. Cost incurred by the city for any maintenance of private systems will be billed and/or assessed to the owner/operator.
2. Recorded inspection and maintenance agreements that define inspection and maintenance responsibilities are required. A minimum annual inspection for private systems shall be required. These requirements are transferrable to any party that becomes the owner/operator of the site.



Community Development Department

101 14th Street • Cloquet MN 55720
Phone: 218-879-2507 • Fax: 218-879-6555

3. An inspection and maintenance plan shall be developed, approved and included as an attachment to the maintenance agreement. At a minimum, maintenance plans must include the following:
 - a. Responsible person(s) for completing inspections and conducting maintenance.
 - b. Frequency of inspections and maintenance.
 - c. Inspection checklist and type of maintenance anticipated.
4. If site configurations or structural stormwater BMPs change, causing decreased BMP effectiveness, new or improved structural stormwater BMPs must be implemented to meet the requirements of this section.
5. The property owner shall keep on file all structural stormwater BMP annual inspection and maintenance records for 5 years and submit to the City as requested.
6. The City shall require the submittal of a letter of credit or other financial security in a form acceptable to the city in the amount of \$5,000 to ensure the stormwater treatment systems are installed correctly and in accordance with this ordinance.

Impervious Surface: (Section 17.6.11, Subd. 5. E and F)

The zoning district allows the maximum building coverage to be 60% with a maximum impervious surface coverage of 70%. The total impervious surface coverage is approximately 66%.

Building Setbacks: (Section 17.6.11, Subd. 5. B)

The ordinance requires that the minimum front setback be 35 feet, the minimum side yard setback be 20 feet and the minimum rear yard setback be 30 feet. The proposed building location meets or exceeds these minimum requirements.

Landscaping: (Section 17.5.04 Subd. 5.)

The landscape plan shows 10 overstory plantings plus understory trees and shrubs, the site is required to have 11 overstory plantings a minimum of 2.5 inches in diameter in addition to understory trees and shrubs.

Parking: (Section 17.5.11 Subd. 6.)

The site is required to have 13 parking spaces based on 1 parking stall per every 250 sq. ft. of building. The site plan shows 13 parking spaces.

Trash Storage: (Section 17.5.15 Subd. 7. A (7))

The trash storage area can either be inside the building or an exterior enclosure. The trash storage area will be inside the building.

Signage: (Section 17.5.13 Subd. 14.)

There is no signage proposed at this time. All signage will need to meet the Ordinance requirements.



Community Development Department

101 14th Street • Cloquet MN 55720

Phone: 218-879-2507 • Fax: 218-879-6555

Lighting: (Section 17.5.12 Subd. 5. B)

The applicant is not proposing any exterior lighting. If any is developed, then it shall be compliant with City lighting standards.

Highway 33 Design Standards: (Section 17.5.15)

All aspects of the Highway 33 Design Standards have been met based on variances that were approved earlier.

Other Site Plan Items:

This site is owned by Mr. Conklin as is the site to the west. Mr. Conklin may wish to consider filing cross easement documents for the shared drive aisle and parking areas. This should be done prior to the sale of either parcel.

Policy Objectives

The purpose of this Site Plan Review application is to ensure that this development project is aligned with city development standards.

Financial Impacts

The Site Plan fee were paid.

Advisory Committee Action Requested

The Commission should review the Site Plan and consider any comments pertaining to it. Following this review, the Planning Commission can recommend approval of the request, recommend denial of the request or table the request for some additional information.

Staff Recommendation

Staff would recommend approval of the Site Plan subject to at least the conditions in the attached resolution.

Supporting Documents Attachments

- Resolution No. 20-01
- Location Map
- Engineer's Memo March 2, 2020
- Site Plan Maps

STATE OF MINNESOTA

COUNTY OF CARLTON

CITY OF CLOQUET

Commissioner _____ offered the following Resolution and moved its adoption.

RESOLUTION NO. 20-01

**A RESOLUTION RECOMMENDING APPROVAL OF A SITE PLAN IN THE RC –
REGIONAL COMMERCIAL DISTRICT FOR LEONARD CONKLIN**

WHEREAS, Leonard Conklin is proposing a Site Plan in the RC – Regional Commercial District for a 3,264 square foot building; and

WHEREAS, the property of the proposed Site Plan is located east of 909 Stanley Avenue and is legally described as follows:

Lot 5, Block 1, Harry Newby's 1st Addition, Carlton County, Minnesota. And,

WHEREAS, the Planning Commission reviewed the staff report and recommends approval of the Site Plan.

NOW, THEREFORE, BE IT RESOLVED, BY THE PLANNING COMMISSION OF THE CITY OF CLOQUET, MINNESOTA, that the Planning Commission recommends approval of Zoning Case 20-01 for a site plan for Leonard Conklin for a 3,264 square foot building subject to the following conditions:

1. The required easements, inspection and maintenance agreements, inspection and maintenance plan, financial guarantee and other items as required for the stormwater BMPs must be submitted before a building permit is issued.
2. Compliance with the Assistant City Engineer's Memo dated March 2, 2020.
3. The landscape plan shall be revised to show 11 overstory plantings a minimum of 2.5 inches in diameter.
4. Signage shall comply with the Ordinance requirements.

The foregoing motion was duly seconded by Commissioner _____ and being put to vote members voted: AYE: _____ NAY: _____ ABSENT: _____

MARK CLINE	_____	PHILIP DEMERS	_____
TERRI LYYTINEN	_____	ELIZABETH POLLING	_____
JOHN SANDERS	_____	URIAH WILKINSON	_____
ROBERT ZAPPIA	_____		

Passed and adopted this 10th day of March 2020.

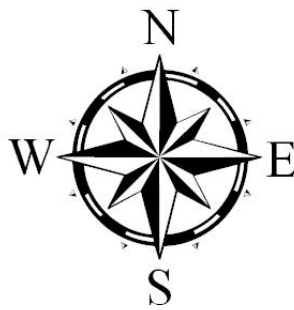
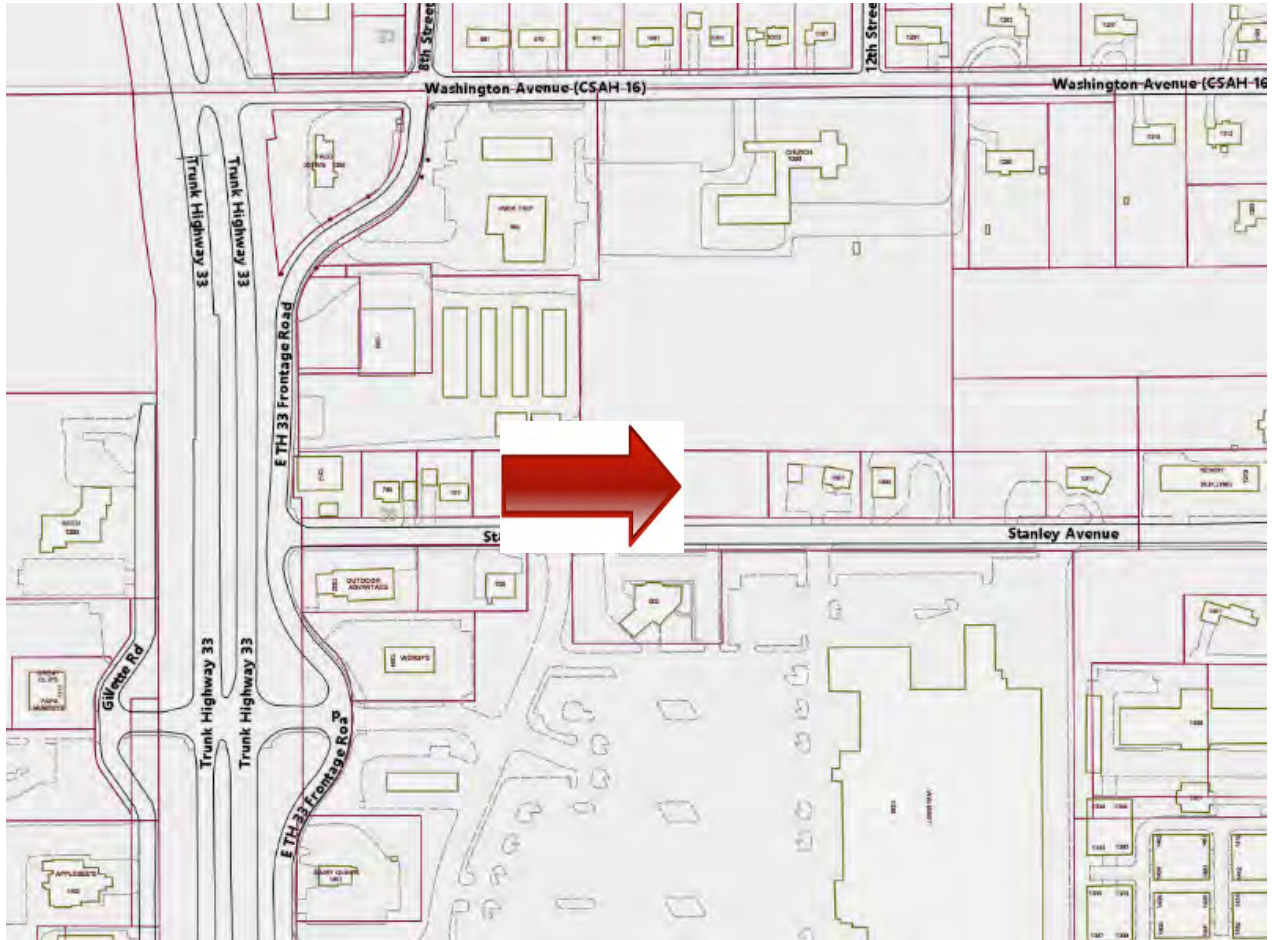
CITY OF CLOQUET

URIAH WILKINSON
CHAIR

ATTEST: _____
Alan Cottingham
City Planner/Zoning Administrator

LOCATION MAP

Leonard Conklin



NO SCALE



DEPARTMENT OF PUBLIC WORKS

101 14th Street; Cloquet, MN 55720
Phone: (218) 879-6758 Fax: (218) 879-6555
Street - Water - Sewer – Engineering - Park
www.cloquetmn.gov

MEMO

To: Al Cottingham, City Planner
From: John Anderson, Assistant City Engineer
Date: March 2, 2020

SUBJECT: 911 Stanley Avenue - Site Plan 2nd Review

I have reviewed the revised preliminary plans, submitted unsigned and dated 3/2/20, submitted by Arola Architecture Studios LLC. plans contained the following pages:

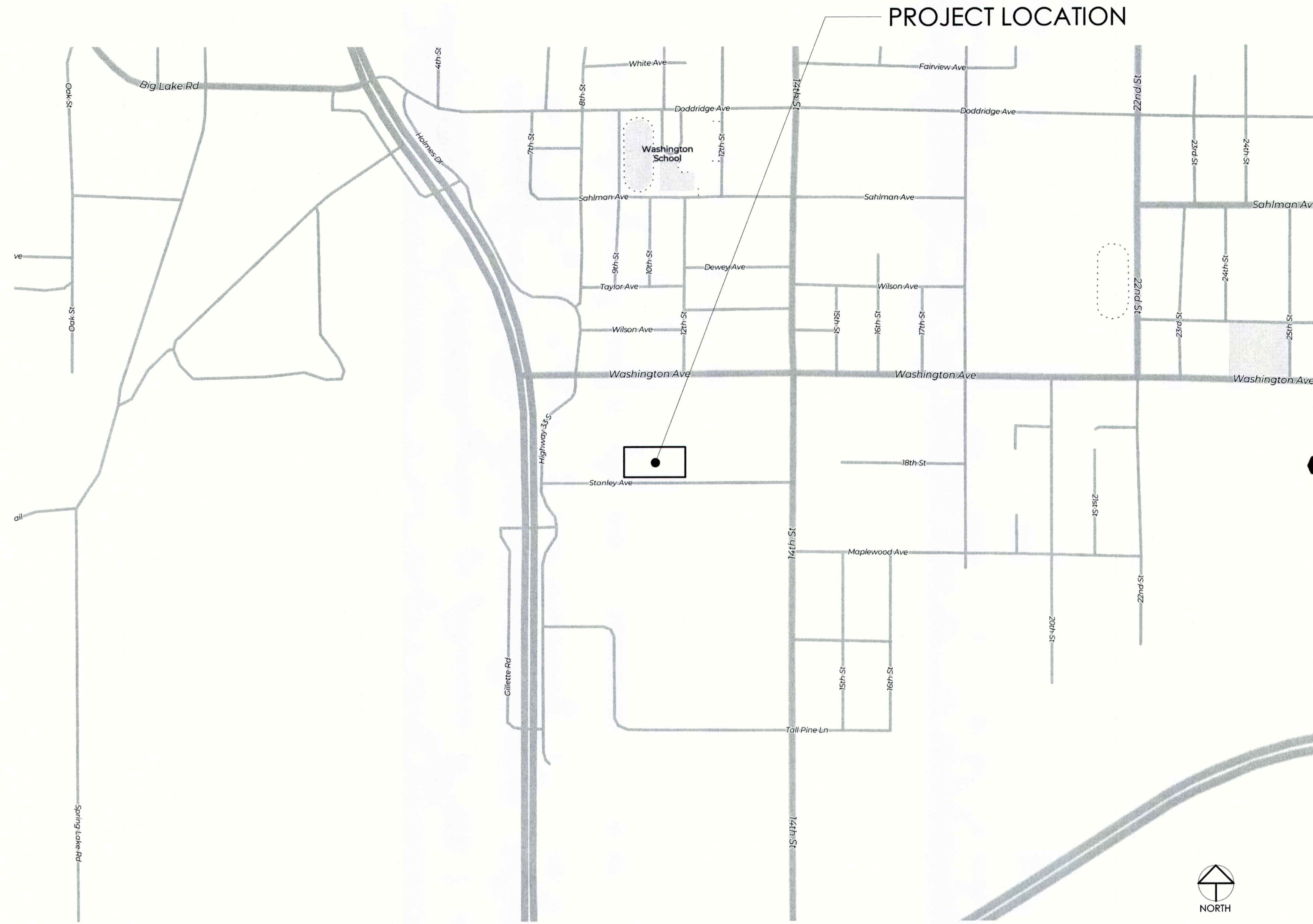
Site Plan
SITE-1 (grading?)
Drainage calculations

The following are my comments on the plans submitted;

1. The plan does indicate sewer and water connections for the building. The City previously installed sewer and water services, which include a 1" copper water service and a 6" PVC sewer service. The proposed services do not line up with the sewer and water stubs that have been installed.
2. A connection fee will be charged to connect to sewer by WLSSD to be determined at time of permit application. Cost of sewer and water services have been previously assessed to the property (2005 and 1976).
3. The site currently has one curb cut in the curb along Stanley Avenue. The Site plan proposes 1 driveway opening in line with this curb cut. The driveway construction should include a concrete apron behind the curb.
4. The site plan proposes to discharge stormwater to a ditch located at the rear of the parcel adjacent to the site to the west. The elevation of the existing ditch and storm sewer to which the ditch flows should be shown.
5. Drainage calculations have be provided. The drainage calculations show the proposed pond 100 yr HWL is roughly 2 feet above the proposed first floor elevation of the proposed building. The 100 yr hwl must be a minimum of 2 feet below the FFE. The FFE must be a minimum of 1 foot above the EOF (emergency overflow elevation) for the pond. The calculations need to have a summary signed by the design professional who prepared them.

6. The grading on site will require a grading permit issued by the City of Cloquet. A grading plan and an erosion control plan and a Stormwater Pollution Protection Plan shall be developed and submitted for review.
7. Grass swales shown on the plan should be constructed with a minimum slope of 1%
8. Side slopes of the pond should be a maximum of 3:1.
9. Inverts on the outlet pipe should be shown on both the outlet and inlet ends.
10. The plan should include a detail of the discharge structure.
11. A maintenance plan of the stormwater facility and outlet swale shall be provided detailing inspection and maintenance activities to be conducted as needed to operate the stormwater system.
12. The grading plan needs to have existing and proposed contours shown at one-foot increments along with any important spot elevations shown.
13. Erosion control measures need to be shown on the grading plan.
14. The Grading plan should show the elevations of the adjacent buildings as well as pavement grades on adjacent parking lots.

LOCATION MAP - CITY, STATE



PROJECT LOCATION

SYMBOL LEGEND

- KEYED NOTE
- DEMO NOTE
- REVISION NOTE
- DOOR NUMBER
- WALL TYPE SYSTEM
- SECTION CUT
- ELEVATION
- DETAIL
- T.O. FLOOR
- ITEM IS HIDDEN OR OVERHEAD
- TO BE REMOVED
- EXISTING DOOR
- NEW DOOR

MATERIAL LEGEND

- EARTH
- GRAVEL
- SAND / MORTAR / PLASTER
- CONCRETE
- CONCRETE MASONRY UNIT
- BRICK
- STEEL STUDS
- WOOD STUDS
- STEEL
- PLYWOOD
- GYPSUM BOARD
- ROUGH WOOD
- WOOD BLOCKING
- BATT INSULATION
- RIGID INSULATION
- EXISTING MATERIAL

PROJECT TEAM

ARCHITECT
 AROLA ARCHITECTURE STUDIO, LLC
 205 WEST FIRST STREET
 DULUTH, MN 55802
 218.740.5219 - www.arolaarch.com

ENGINEER

CONTRACTOR

OWNER

SHEET INDEX

TITLE	TITLE SHEET
SITE	SITE PLAN
ARCHITECTURAL	
A0.0	LIFE SAFETY PLAN
A2.0	LEVEL 1 FLOOR PLAN
A3.0	EXTERIOR ELEVATIONS
A4.1	BLDG SECTIONS
A5.0	SCHEDULES



PRELIMINARY
 NOT FOR CONSTRUCTION.
 DATE: 1/20/2020

CLOQUET OFFICE BUILDING
 911 STANLEY AVE
 CLOQUET, MINNESOTA 55720

ISSUE DATE
 XX/XX/XXXX

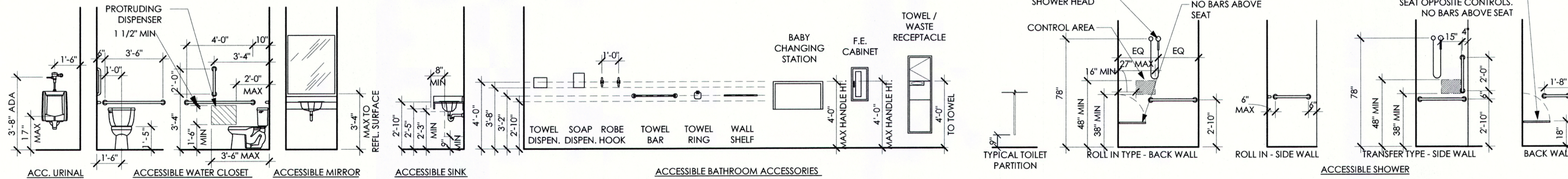
PROJECT NO.
 1962

REVISIONS

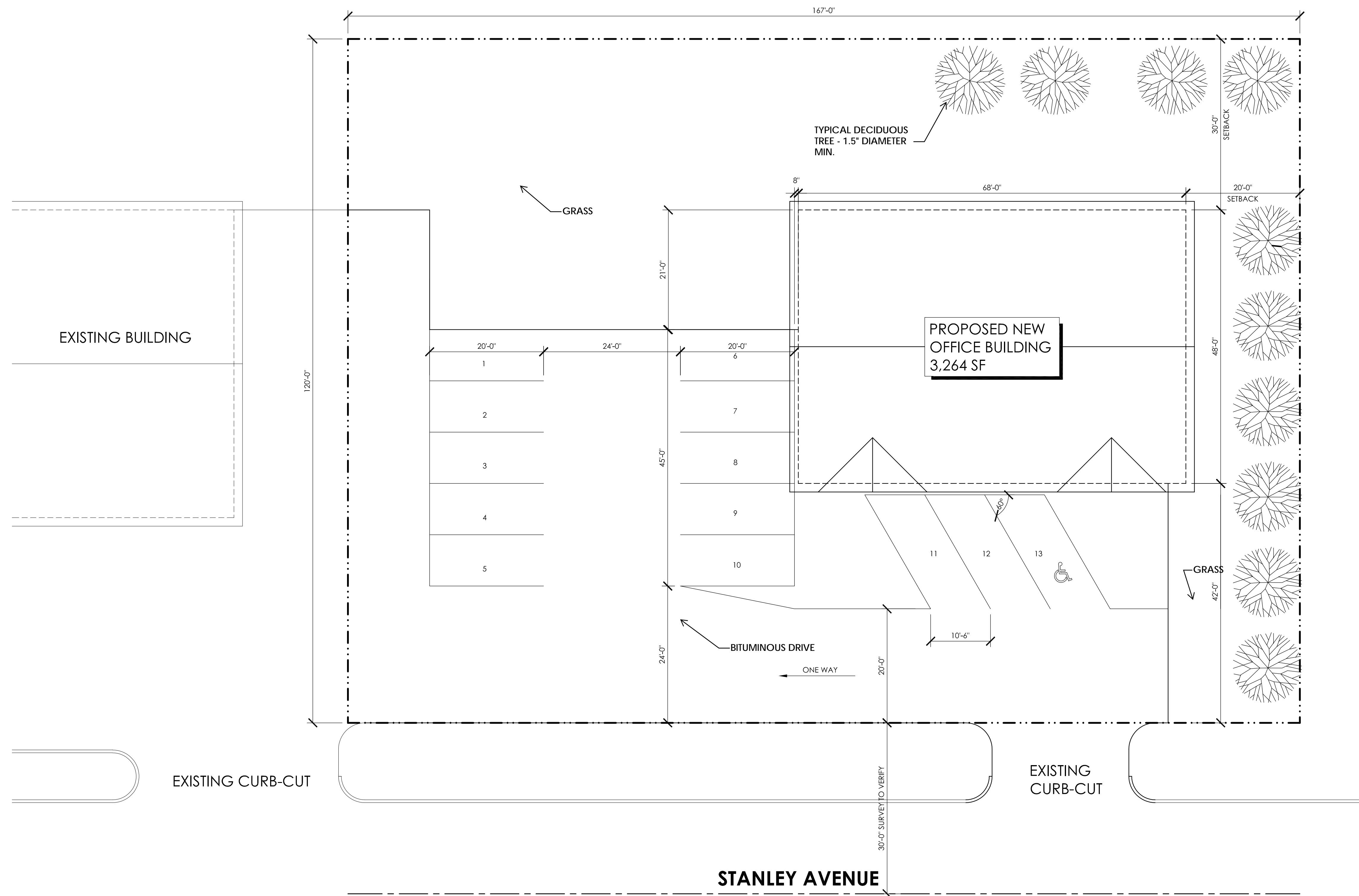
SHEET NO.
TITLE

MOUNTING HEIGHTS

NOTE: DIMENSIONS SHOWN ARE TO FINISHED WALL.
 CONTRACTOR TO PROVIDE NECESSARY BLOCKING
 FOR WALL MOUNTED ACCESSORIES.



OFFICE BUILDING



1 SITE PLAN
1" = 10'-0"

HERE BY CERTIFY THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM
PRELIMINARY
NOT FOR CONSTRUCTION
03/02/2020
DATE _____ LICENSE No. 52478

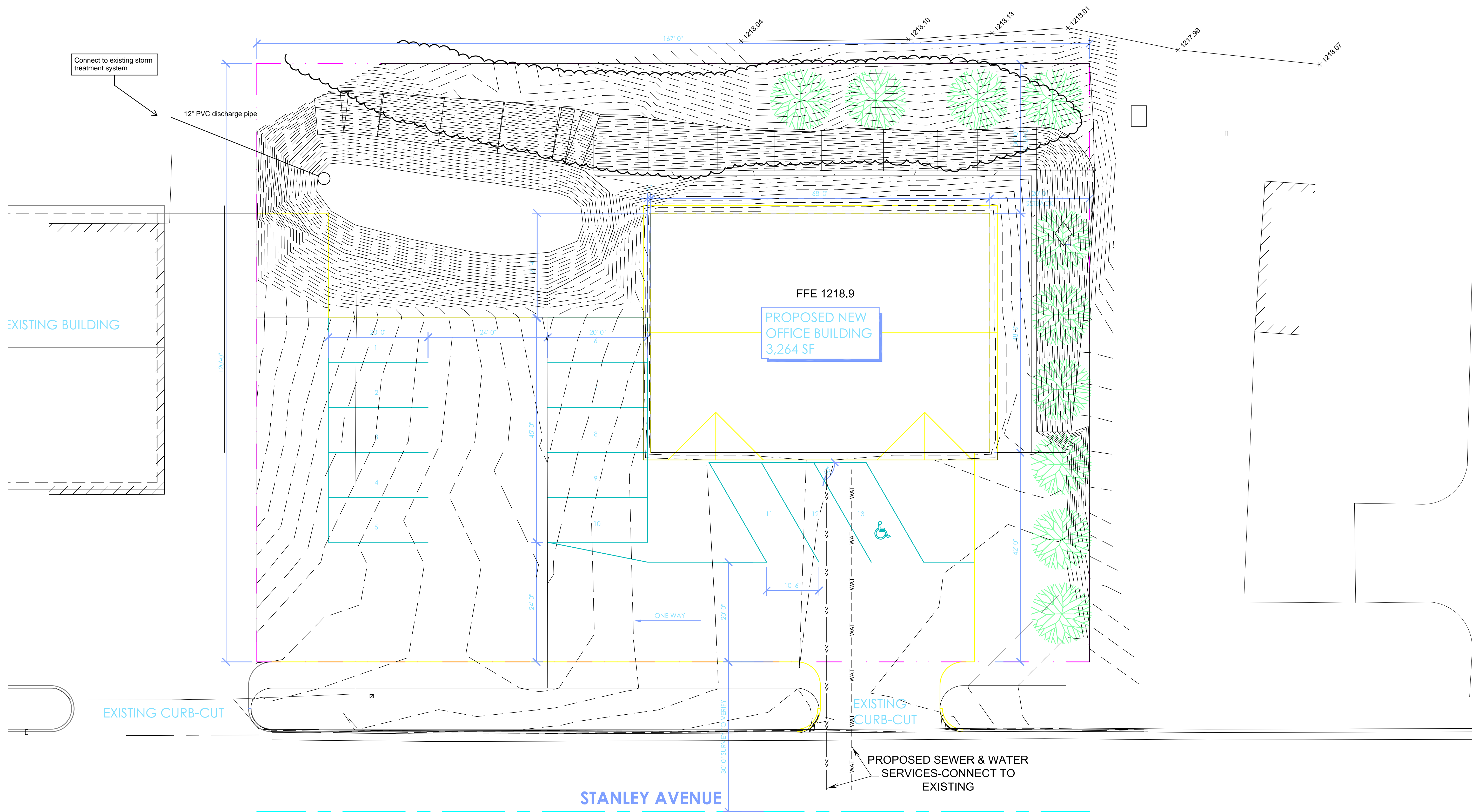
CLOQUET OFFICE BUILDING
911 STANLEY AVENUE
CLOQUET, MINNESOTA 55720

ISSUE DATE
XX/XX/XXXX

PROJECT NO.
1962

REVISIONS

SHEET NO.
SITE



IN@ RIM 1218.97

HERE BY CERTIFY THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ARCHITECT.
PRELIMINARY
 NOT FOR CONSTRUCTION
 DATE: 03/02/2020
 LICENSE No. 52478

CLOQUET OFFICE BUILDING
 911 STANLEY AVENUE
 CLOQUET, MINNESOTA 55720

ISSUE DATE
 XX/XX/XXXX

PROJECT NO.
 1962

REVISIONS

SHEET NO.
SITE-1

PRELIMINARY
 NOT FOR CONSTRUCTION
 DATE: 1/20/2020

CLOQUET OFFICE BUILDING
 911 STANLEY AVE
 CLOQUET, MINNESOTA 55720

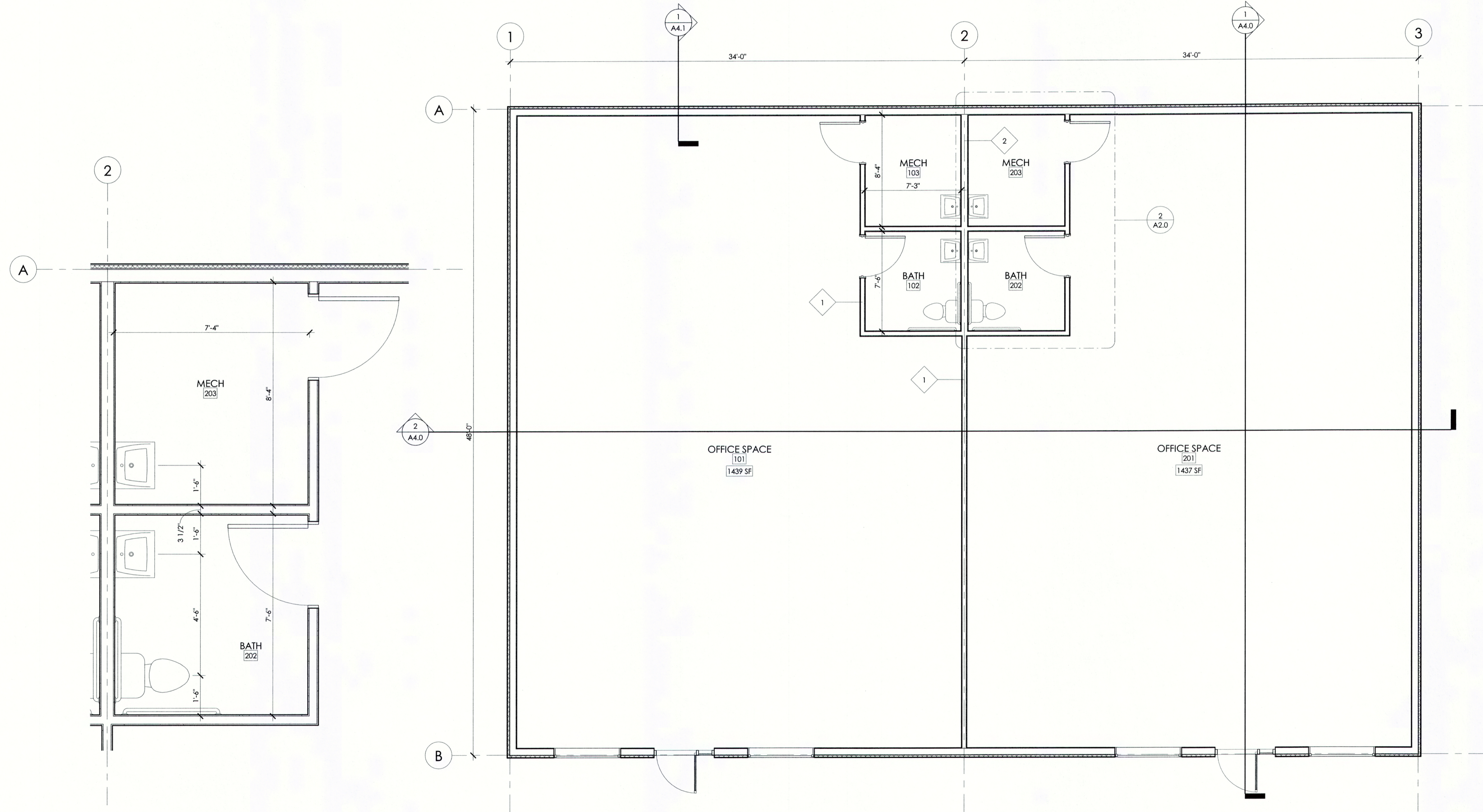
ISSUE DATE
 XX/XX/XXXX

PROJECT NO.
 1962

REVISIONS

SHEET NO.

A2.0



② TOILET AND MECHANICAL PLAN
 1/2" = 1'-0"

① FLOOR PLAN
 1/4" = 1'-0"

PRELIMINARY
 NOT FOR CONSTRUCTION:
 DATE: 1/20/2020

CLOQUET OFFICE BUILDING
 911 STANLEY AVE
 CLOQUET, MINNESOTA 55720

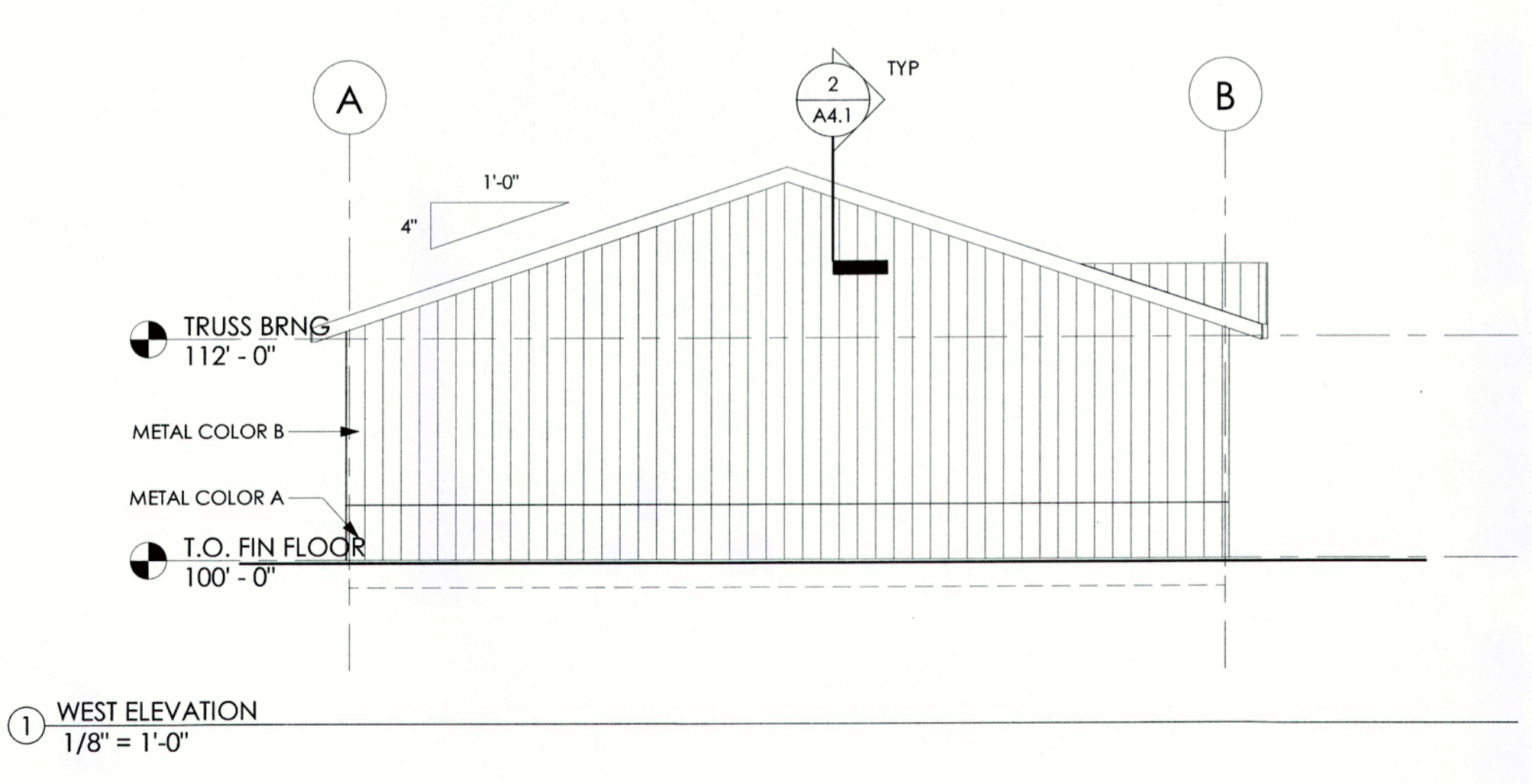
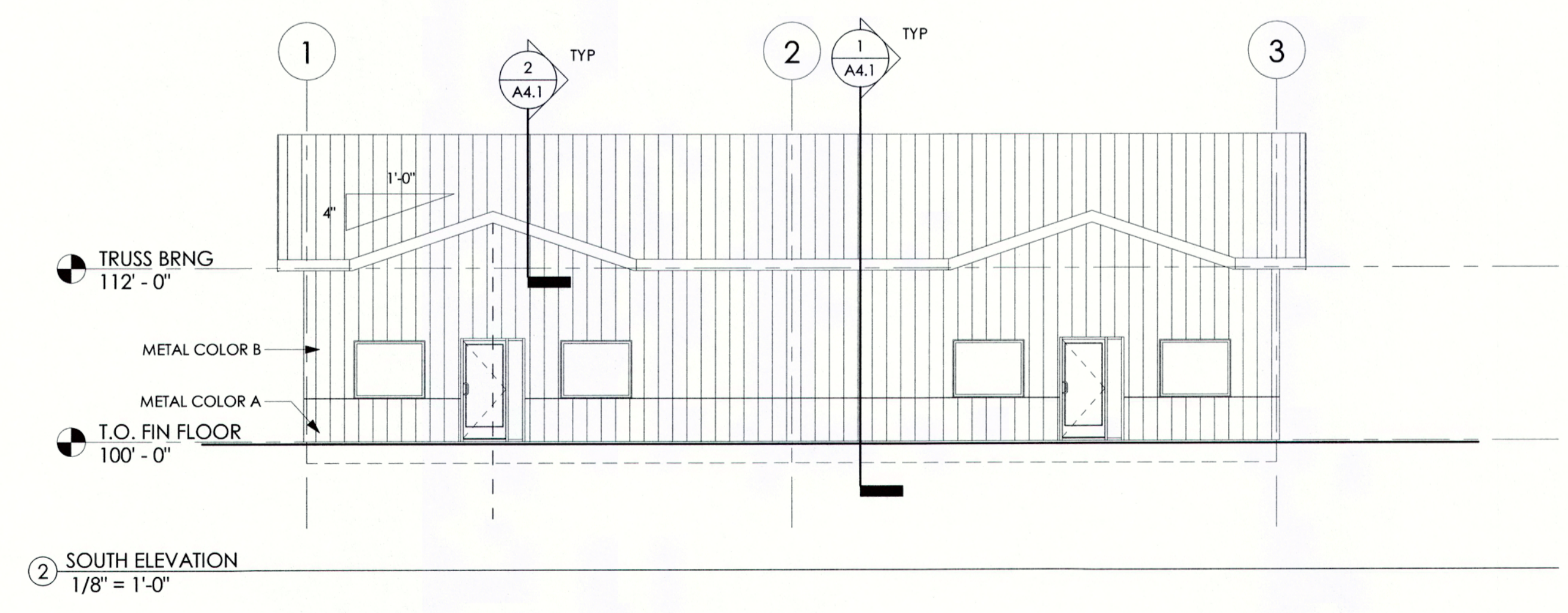
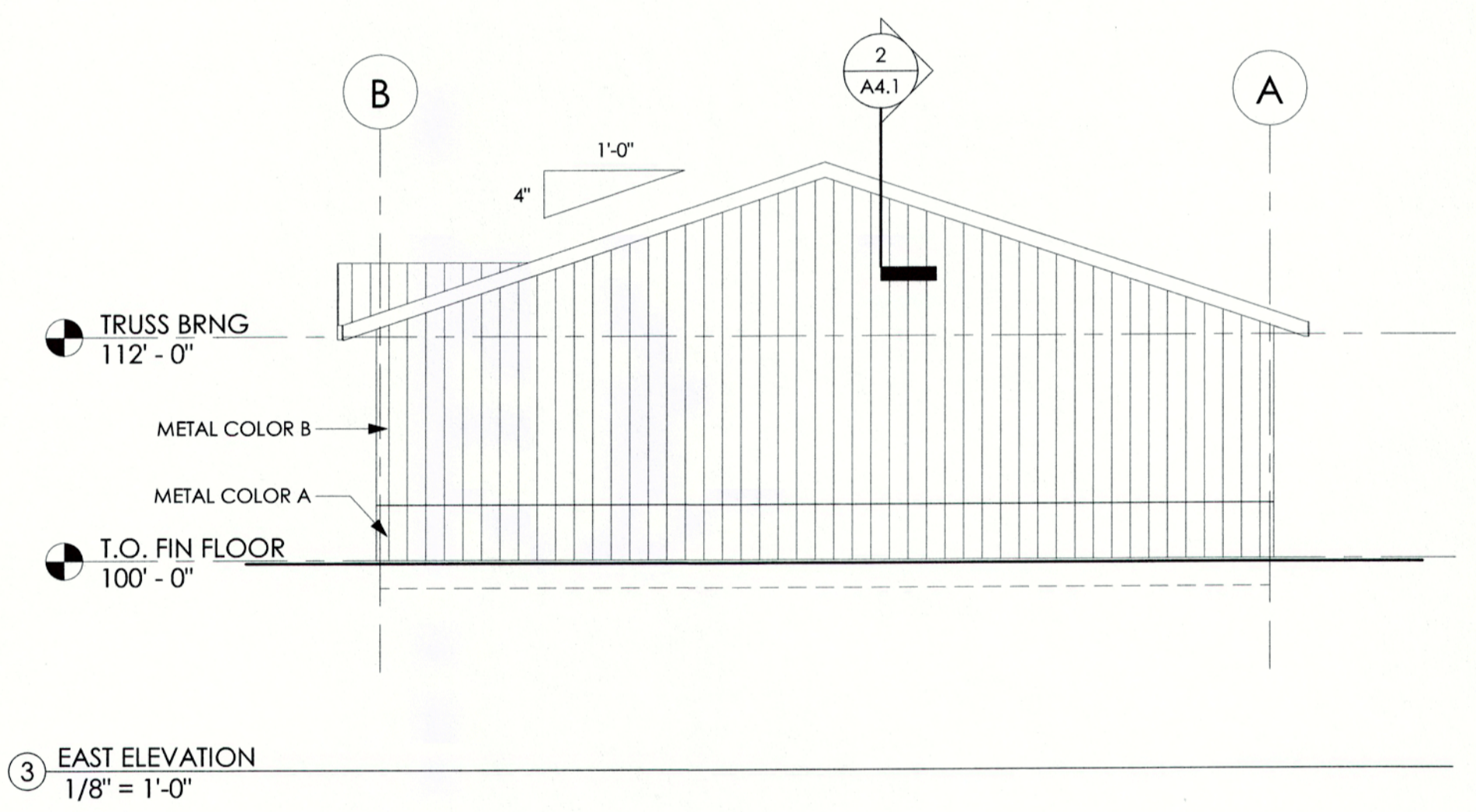
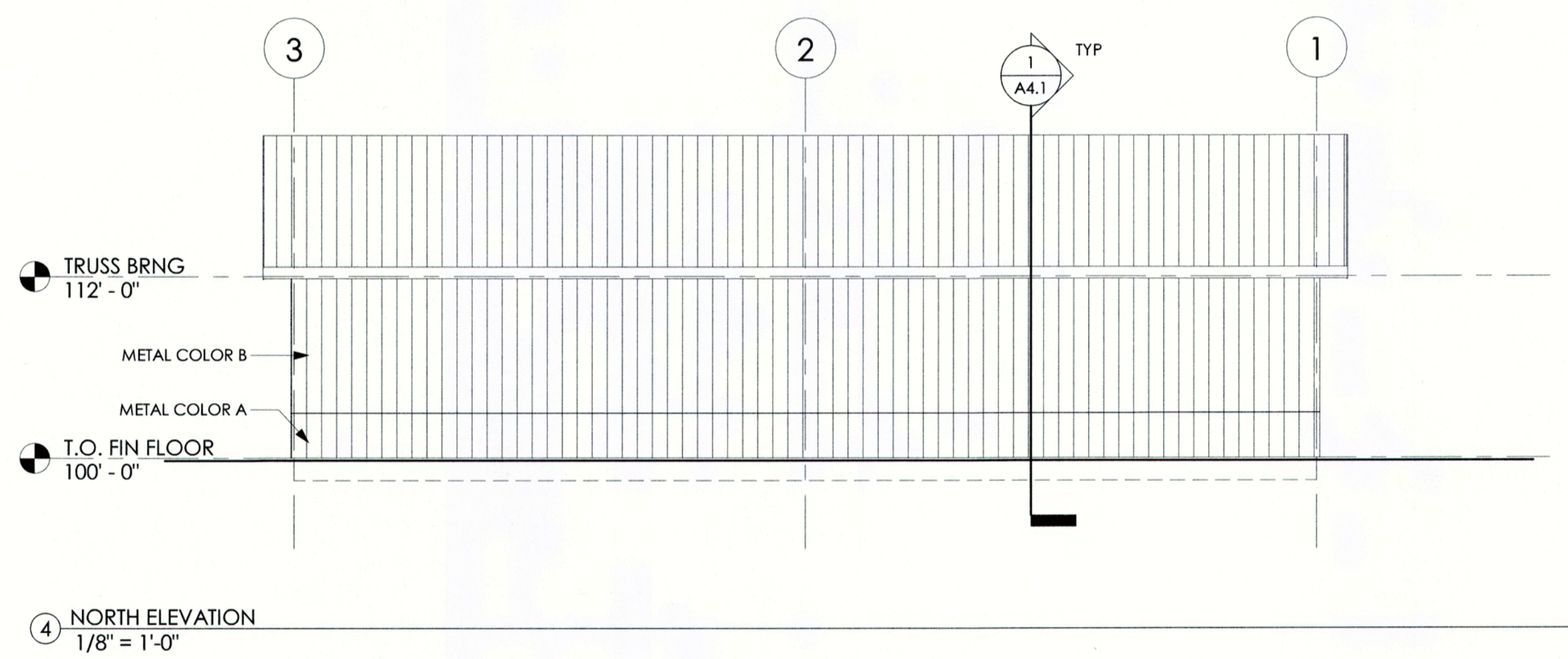
ISSUE DATE
 XX/XX/XXXX

PROJECT NO.
 1962

REVISIONS

SHEET NO.

A3.0





PLANNING COMMISSION MEMO

To: Planning Commission
From: Al Cottingham, City Planner/Zoning Administrator
Date: March 4, 2020

**ITEM DESCRIPTION: ZONING CASE 20-02: CONDITIONAL USE PERMIT –
CELLULAR TOWER IN THE MIXED
RESIDENTIAL/COMMERCIAL DISTRICT**

Background

AT&T Mobility/Hall Institute, Inc. is proposing a conditional use permit to allow the construction of a 180 foot mono-pole cellular tower with antenna's not to exceed a total height of 184 feet. The property involved is located southeast of 14th Street and Interstate 35. The property is owned by Ulland Brothers, Inc.

The Ordinance requires a minimum of 500 feet separation between the tower and any residential structure and a minimum setback of 75 percent of the tower height (135 ft.) to the property lines. Access to the tower will be from 14th Street with the tower being approximately 620 feet northeast of the closest home on the west side of 14th Street and approximately 700 feet to the 14th Street Apartments.

A public hearing will be held on Tuesday, March 10, 2020 to consider a conditional use permit for a cellular tower in the Mixed Residential/Commercial District. A legal notice was published in the Pine Knot on February 28, 2020 and property owners within 350 feet were sent notices of the public hearing.

Policy Objectives

The Zoning Ordinance states Conditional Use Permits may be granted when they comply with the following approval criteria: (*Staff comments in italic*)

1. Consistency with the Comprehensive Plan. The relationship of the proposed use to the goals, objectives, and policies of the City of Cloquet Comprehensive Plan. *The proposed site is guided as Highway Commercial/Residential Mix.*
2. Compatibility. The compatibility of the proposed use with existing development within three hundred (300) feet of the proposed use and within five hundred (500) feet along the same street and development anticipated in the foreseeable future within the neighborhood and conditions that would make the use more compatible. *The land to the east is owned by Ulland Brothers and is a gravel pit. The land to the north is Interstate 35 and beyond that it is a wetland owned by the City. The land to the west is 14th Street*



Community Development Department

1307 Cloquet Avenue • Cloquet MN 55720
Phone: 218-879-2507 • Fax: 218-879-6555

and beyond that is a garage and two single family homes. The land to the south owned by the City and contains a disk golf course and Ulland Brothers for future gravel operations, beyond that are the 14th Street Apartments. The tower will be over 500 feet to the closest home.

3. Importance of services to the community. The importance of the services provided by the proposed facility to the community, if any, and the requirements of the facility for certain locations, if any, and without undue inconvenience to the developer, and the availability of alternative locations equally suitable. *This really doesn't apply since it is a cellular tower but it does provide cellular service to those parties that have this as their service provider.*

4. Neighborhood protections. The sufficiency of terms and conditions proposed to protect and maintain the uses in the surrounding neighborhood. *The access to the site will be off 14th Street via the current secondary access into the Ulland Gravel operations. The tower will be a minimum of 500 feet from the homes on the west side of 14th Street and over 600 feet to the 14th Street Apartments.*

5. Conformance with other requirements of this Chapter. The conformance of the proposed development with all provisions of this Chapter. *The proposed location meets all of the requirements of the Zoning Ordinance.*

6. Other factor. Other factors pertinent to the proposed use, site conditions, or surrounding area considerations that the Planning Commission or the City Council feels are necessary for review in order to make an informed and just decision.

Financial Impacts

The Conditional Use Permit fee is \$400. The applicant has paid this fee to cover the cost associated with the application process.

Advisory Committee Action Requested

The Planning Commission should listen to the testimony that is presented at the public hearing for the conditional use permit. Following this testimony the Planning Commission should review the approval criteria and either approve, approve with conditions or deny the conditional use permit. The Planning Commission may impose conditions in the granting of conditional uses.



Community Development Department

1307 Cloquet Avenue • Cloquet MN 55720

Phone: 218-879-2507 • Fax: 218-879-6555

Staff Recommendation

Staff has reviewed the conditional use permit approval criteria requirements and would recommend approval of the conditional use permit subject to at least the conditions in the draft Resolution.

Supporting Documents Attachments

- Resolution No. 20-02
- Location Map
- Site Drawings

STATE OF MINNESOTA

COUNTY OF CARLTON

CITY OF CLOQUET

Commissioner _____ offered the following Resolution and moved its adoption.

RESOLUTION NO. 20-02

**A RESOLUTION RECOMMENDING THE CITY COUNCIL OF CLOQUET APPROVE
THE CONDITIONAL USE PERMIT TO ALLOW A CELLULAR TOWER IN THE
MIXED RESIDENTIAL/COMMERCIAL DISTRICT**

WHEREAS, AT&T Mobility/Hall Institute, Inc. is proposing a Conditional Use Permit for a 180-foot mono-pole cellular tower in the Mixed Residential/Commercial District; and

WHEREAS, As required by ordinance, notification was advertised in the Pine Knot and property owners within 350 feet were sent notice. A public hearing was held to consider the application at the regular meeting of the Cloquet Planning Commission on March 10, 2020 at which time Zoning Case / Development Review No. 20-02 was heard and discussed; and

WHEREAS, the property of the proposed Conditional Use Permit is located east of 14th Street and south of Interstate 35 and is legally described as follows:

The South One Half of the Southwest Quarter (S ½ of SW ¼), Section Twenty-five (25), Township Forty-nine (49) North, Range Seventeen (17) West of the Fourth Principal Meridian, Carlton County, Minnesota, except the following parcels:

- A. All that part of the Southwest Quarter of the Southwest Quarter (SW ¼ of SW ¼) lying northerly of the north right-of-way line of Interstate Highway No. 35.
- B. All of the Southwest Quarter of the Southwest Quarter (SW ¼ of SW ¼) lying southerly of the center line of Interstate Highway No. 35 and westerly of the centerline of Carlton County Highway No. 3.

All according to the U.S. Government Survey thereof. and

WHEREAS, the Planning Commission reviewed the staff report and recommends approval of the Conditional Use Permit.

NOW, THEREFORE, BE IT RESOLVED, BY THE PLANNING COMMISSION OF THE CITY OF CLOQUET, MINNESOTA, that the Planning Commission recommends approval of Zoning Case 20-02 to the Cloquet City Council to allow a 180-foot mono-pole cellular tower in the Mixed Residential/Commercial District subject to the following condition:

1. The maximum height of the tower and the attached antennas shall be 185 feet.
2. The lease agreement must be finalized prior to the issuance of a building permit.
3. The tower shall not be artificially illuminated unless required by the FCC or FAA regulations.
4. If the tower is required to have flashing type lighting or illumination, the use of red flashing lights is required during the nighttime hours as opposed to white strobe lights unless otherwise federally mandated.
5. The security fence shall not exceed 8 feet in height.

The foregoing motion was duly seconded by Commissioner _____ and being put to vote members voted: AYE: ____ NAY: ____ ABSENT: ____

MARK CLINE	_____	PHILIP DEMERS	_____
TERRI LYYTINEN	_____	ELIZABETH POLLING	_____
JOHN SANDERS	_____	URIAH WILKINSON	_____
ROBERT ZAPPIA	_____		

Passed and adopted this 10th day of March 2020.

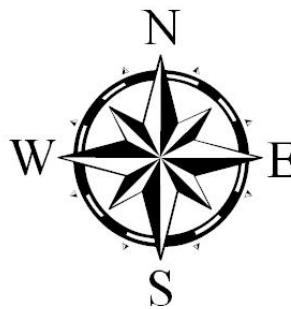
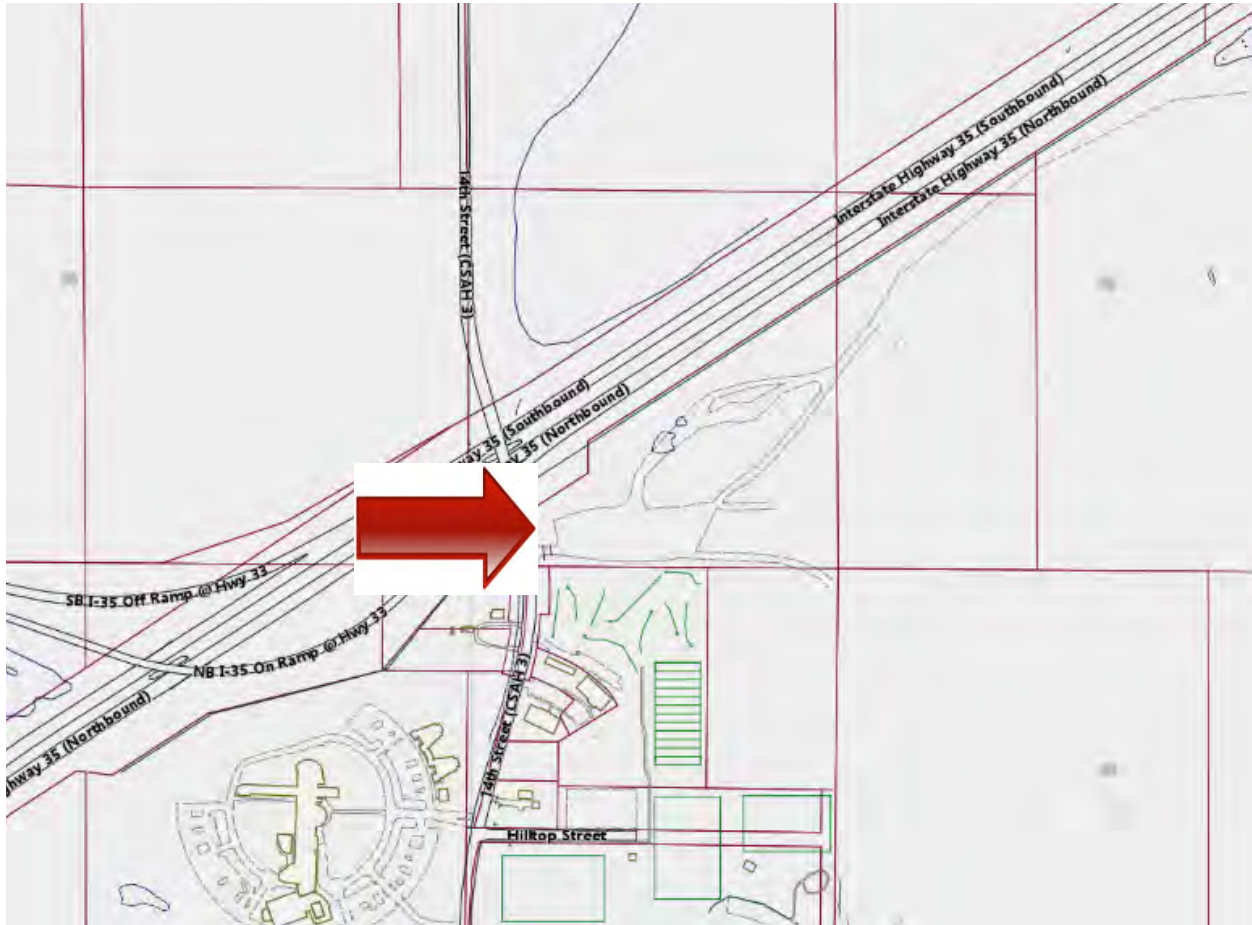
CITY OF CLOQUET

URIAH WILKINSON
CHAIR

ATTEST: _____
Alan Cottingham
City Planner/Zoning Administrator

LOCATION MAP

AT&T Mobility/Hall Institute Inc.



NO SCALE

Jason Hall
7365 Kirkwood Court North, Suite 320
Maple Grove, MN 55369
Office 763.315.5859
Mobile 612.670.0101
Fax 763.315.5860
jhall@hallinstitute.com

THE HALL INSTITUTE, INC.

To: City of Cloquet **From:** Jason Hall

Phone: **Date:** ~~4-16-20~~ 2-3-20

Re: Proposed Wireless Communications Facility – AT&T Mobility – SW Quarter of Sec 25, Twp 49, Range 17 **CC:** Ulland Brothers Inc

TRANSMITTAL NUMBER: 2020-014

Mr. Cottingham,

On behalf of AT&T Mobility ("AT&T"), enclosed is the completed CUP Application and \$400 check for a Proposed 180' Wireless Communications Facility ("Tower").

The subject location is located in the SE corner of Interstate 35 and County Road 3 (14th Street). The 18.38-acre property is owned by Ulland Brothers Inc. Parcel ID #05-510-5740.

The proposed Tower is a Dual-Purpose Wireless Communication Facility. It will be used for standard AT&T cell phone/voice/data/broadband communications and also for the new First Responder Network Authority (FirstNet) <https://firstnet.gov>

Tower will be built to allow for future colocation and meets all requirements in the City of Cloquet Zoning Ordinance, Chapter 17.5.16, including the performance standards set forth in Subd. 6 and conditional use standards in Subd. 7. This Tower will serve residents, businesses, visitors, first responders, school/community college, parks, and overall traffic on nearby City, Township, County and State/Interstate Roadways.

AT&T and Ulland Brothers Inc will be entering into a land lease agreement on the subject property. AT&T will be placing the Tower near the Western/Center of the property. No new roads are required for access, AT&T will be utilizing the existing gravel access driveway. The Tower is a Monopole design. Tower base will be surrounded by a fenced/secured compound, 6ft high fence with 3 strands of barb wire. Once constructed, the Tower is typically only visited 1x per month, for standard operational/maintenance. It will not create a traffic or noise problem. As part of the project/lease, AT&T has agreed to remove the Tower should it ever become obsolete or abandoned in future.

For this site, colocation on an existing Tower or Structure was not an option, because there are no existing Commercial Towers within a 1-mile search radius.

I have attached the following supporting documentation to the CUP Application:

- \$400.00 Check
- Conditional Use Permit Checklist – 1pg
- FirstNet Fact Sheet – 1pg
- Aerial Map (showing the proposed tower with red arrow) – 1pg
- Arial Parcel Map – 1pg
- Site Photos – 1pg
- Sample Monopole Photo – 1pg

- Photosimulations – 3pgs
- RF Propagation Maps – 4pgs
- Federal Airspace and Airways Report – 4pgs
- Rohn Design Criteria Memo – 50% Fall Zone – 1pg
- Parcel list within 350ft– 1pg
- 3 copies of Site Survey – 2pgs
- 3 copies of P.E. Signed Drawings – 5pgs

Please don't hesitate to contact me with any questions.

Thanks

Sincerely,



Jason Hall
Hall Institute Inc - AT&T Consultant
7365 Kirkwood Court N, Ste 320
Maple Grove MN 55369
Mobile: 612.670.0101
Email: jhall@hallinstitute.com

CC: AT&T, Ulland Bros Inc

Aerial Map showing Proposed Tower Location





Photo of Proposed Tower Location



Photo of Existing Gravel Drive

Sample Monopole Photo





6718 W. Plank Road
Peoria, IL 61604 USA
Phone 309-697-4400
FAX 309-697-5612
Toll Free 800-727-ROHN

Memo on the Design Criteria for Communication Structures

Communication structures are designed in accordance with an American National Standard. The Standard is designated as ANSI-TIA-222. This Standard is based on the wind, ice and earthquake loading requirements from ASCE 7, "Minimum Design Loads for Buildings and Other Structures". The structural design of members is based on the AISC "Specification for Structural Steel Buildings". The requirements for loading and structural design are therefore very similar to those used for buildings and other conventional structures.

The magnitude of loadings and the member design criteria used for buildings and communication structures have been established based on a tremendous amount of research and experience. The use of these standards has resulted in safe structures that have performed well over many years. As with buildings, extreme events of loading have occurred that have resulted in damage to both communication structures and other conventional structures. The damage rarely results in the entire collapse of the building or communication structure.

Structures located adjacent to critical facilities or properties are often constructed using additional design criteria to influence the degree and type of damage that may occur in the case of an extreme loading condition. For example, stronger members may be placed in the lower half of a self-supporting latticed tower or thicker tubular sections may be used in the lower portions of a pole.

The failure under an extreme loading for self-supporting structures reinforced in this manner would be expected to occur in the upper half of the structure, preventing the total collapse of the structure. These types of failures would be expected to involve local member or component failures resulting in the upper half of the structure folding over the lower half as opposed to the upper half completely shearing off or separating from the structure.

For guyed masts, multiple guy anchors may be used along each guy radius. The multiple guy supports would be expected to contain a failure to a spiral buckling of the mast and contain the fall zone to approximately 50% of the mast height.

Additionally, structures in critical locations are often classified as Essential Facilities. The design standards mentioned above require more stringent loading requirements for these structures compared to conventional structures. For example, Essential Facilities are designed for wind speeds that have a probability of occurrence less than half the probability of occurrence associated with conventional buildings and structures.

ROHN has assisted many owners with the development of their design requirements based on unique site-specific considerations. Please contact us for any questions or additional information.

ROHN Products, LLC
6718 W. Plank Road
Peoria, IL 61604
309-697-4400
www.rohnet.com

SITE PHOTO



PROJECT INFORMATION

SITE ADDRESS: SE CORNER OF 14TH ST AND I-35 CLOQUET, MN 55720

COUNTY: CARLTON

SITE NAME: CLOQUET UNIVERSITY

ASSET SITE ID: MNL05453

FA NUMBER: 12582862

PACE NUMBER: MRUMW023110

PTN NUMBER: 3514A0EW34

USD NUMBER: 288881

LATITUDE (NAD 83): 46° 41'25.45" N

LONGITUDE (NAD 83): 92° 26'48.59" W

GROUND ELEVATION: 1205.5' A.M.S.L.

ZONING DISTRICT: CITY OF CLOQUET

TOWER OWNER: AT&T

LANDLORD CONTACT: TIM OWENS, TOWNSHIP@LAND.COM (210) 895-3002

GROUND OWNER: U

OCCUPANCY GROUP: I-B

CONSTRUCTION TYPE: TOWER

ASSET PROJECT MANAGER: TOM HANSEN (210) 454-0311 TROCK@AT&T.COM

BUY SITE ACQUISITION MANAGER: WATE HUNTER (612) 208-7758 HUNTER@BAY.COM

BUY CONSTRUCTION MANAGER: MITCH LINDSEY (612) 208-7758 LINDSEY@BAY.COM

BUY LEAD ENGINEER: CASEY TUBERNA (612) 885-0842 TUBERNA@BAY.COM

ENGINEERING

2012 INTERNATIONAL BUILDING CODE
2015 MINNESOTA BUILDING CODE
2015 MINNESOTA BUILDING CODE
TM/EM-222-G OR LATEST EDITION

**AT&T
MOBILITY**
PROJECT: NSB
AT&T SITE ID: MNL05453
FA#: 12582862
PACE#: MRUMW023110
PTN#: 3514A0EW34

**CLOQUET UNIVERSITY
CLOQUET, MN 55720**

AREA MAP

VICINITY MAP

LOCAL MAP



DRIVING DIRECTIONS

DIRECTIONS FROM AT&T OFFICE:
FOLLOW I-35W N AND I-35 N TO MIN-210 E IN TWIN LAKES TOWNSHIP. TAKE EXIT 235 FROM I-35 N
1.1 H 55 MIN (1.31 MI). TAKE HALVORSON RD TO 14TH ST IN CLOQUET 6 MIN (3.2 MI). SITE IS LOCATED ON RIGHT JUST BEFORE
BRIDGE OVER I-35.

REFERENCE MATERIALS

THESE LIE DRAWINGS ARE BASED ON ASET SCOPING DOCUMENT DATED XX/XX/16.
CONTRACTOR SHALL USE THE LATEST VERSION OF THE IRDS WITH THE CONSTRUCTION
PERMITS FOR THE SCOPE OF WORK.

DRAWING INDEX

SHEET NO.	SHEET TITLE
COVER	TITLE SHEET
2-1	ORIGINAL SITE PLAN
2-2	COMPOUND PLAN
2-3	PG. 2 WITH CORRIDOR
2-4	TOWER ELEVATION

REVISIONS

NO.	DATE	DESCRIPTION

PROFESSIONAL ENGINEER

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATIONS, AND CONTRACT PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MINNESOTA.

PRINT NAME: ROBBY A. JEWNS
SIGNATURE: [Signature]
DATES: 10/14/2013 LICENSE# 43119 EXP. 5/20

IT IS A VIOLATION OF LAW FOR ANY PERSON UNLESS A LICENSED PROFESSIONAL ENGINEER TO ALTER THIS DOCUMENT.

CLOQUET UNIVERSITY
MNL05453
SE CORNER OF 14TH ST AND I-35
CLOQUET, MN 55720

811

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN MINNESOTA, CALL Gopher State One Call 888-835-2164 TOLL FREE. VISIT GopherStateOneCall.com FOR MORE INFORMATION. AIN SERVICE RECORDS UNIT OF 48 HOURS BEFORE YOU DIG.

11'x17' PLOT WILL BE HALF SCALE UNLESS OTHERWISE NOTED

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN MINNESOTA, CALL Gopher State One Call 888-835-2164 TOLL FREE. VISIT GopherStateOneCall.com FOR MORE INFORMATION. AIN SERVICE RECORDS UNIT OF 48 HOURS BEFORE YOU DIG.

THESE PLANS CONFORM TO ALL OF THE REQUIREMENTS CALLED OUT IN THE JURISDICTION PLANNING AND ZONING FOR ANYTHING AND ANY OTHER CONDITIONS ON SE. IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PERFORMING ANY WORK OR BE RESPONSIBLE FOR THE SAME.

**AT&T
MOBILITY**
7900 XERVES AVE S
3RD FLOOR
BLOOMINGTON MN 55431

BLACK & VEATCH
BLACK & VEATCH CORPORATION
7760 FRANCE AVENUE SOUTH
BLOOMINGTON, MN 55435

PROJECT NO: 4142
DRAWN BY: ADJ
CHECKED BY: JAT

PROFESSIONAL ENGINEER

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATIONS, AND CONTRACT PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MINNESOTA.

PRINT NAME: ROBBY A. JEWNS
SIGNATURE: [Signature]
DATES: 10/14/2013 LICENSE# 43119 EXP. 5/20

IT IS A VIOLATION OF LAW FOR ANY PERSON UNLESS A LICENSED PROFESSIONAL ENGINEER TO ALTER THIS DOCUMENT.

CLOQUET UNIVERSITY
MNL05453
SE CORNER OF 14TH ST AND I-35
CLOQUET, MN 55720

811

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN MINNESOTA, CALL Gopher State One Call 888-835-2164 TOLL FREE. VISIT GopherStateOneCall.com FOR MORE INFORMATION. AIN SERVICE RECORDS UNIT OF 48 HOURS BEFORE YOU DIG.

11'x17' PLOT WILL BE HALF SCALE UNLESS OTHERWISE NOTED

TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND FACILITIES BEFORE YOU DIG IN MINNESOTA, CALL Gopher State One Call 888-835-2164 TOLL FREE. VISIT GopherStateOneCall.com FOR MORE INFORMATION. AIN SERVICE RECORDS UNIT OF 48 HOURS BEFORE YOU DIG.

THESE PLANS CONFORM TO ALL OF THE REQUIREMENTS CALLED OUT IN THE JURISDICTION PLANNING AND ZONING FOR ANYTHING AND ANY OTHER CONDITIONS ON SE. IMMEDIATELY NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PERFORMING ANY WORK OR BE RESPONSIBLE FOR THE SAME.

COVER

SHEET NUMBER

AT&T
MOBILITY
7900 XERXES AVE S
3RD FLOOR
BLOOMINGTON MN 55431



BLACK & VEATCH
BLACK & VEATCH CORPORATION
7160 FRANKLIN AVE SOUTH
SUITE 1200
BLOOMINGTON, MN 55435

PROJECT NO: 4142
DRAWN BY: JAS
CHECKED BY: JAT

REV	DATE	DESCRIPTION
1	10/27/18	ISSUED FOR PERMITS
2		
3		
4		
5		
6		
7		
8		
9		
10		

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATIONS, AND ALL INFORMATION PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
PRINT NAME: ROBLEY A. EWINS

SIGNATURE: *[Signature]*
DATE: 10/14/2018 LICENSE# 43119 EXP. 6/20

IT IS A VIOLATION OF LAW FOR ANY PERSON, OTHER THAN THE LICENSEE, TO REPRODUCE OR TO ALTER THIS DOCUMENT.

CLOQUET UNIVERSITY
MN105453
SE CORNER OF 14TH ST AND I-35
CLOQUET, MN 55720
NSB

SHEET TITLE
OVERALL SITE PLAN

SHEET NUMBER
Z-1

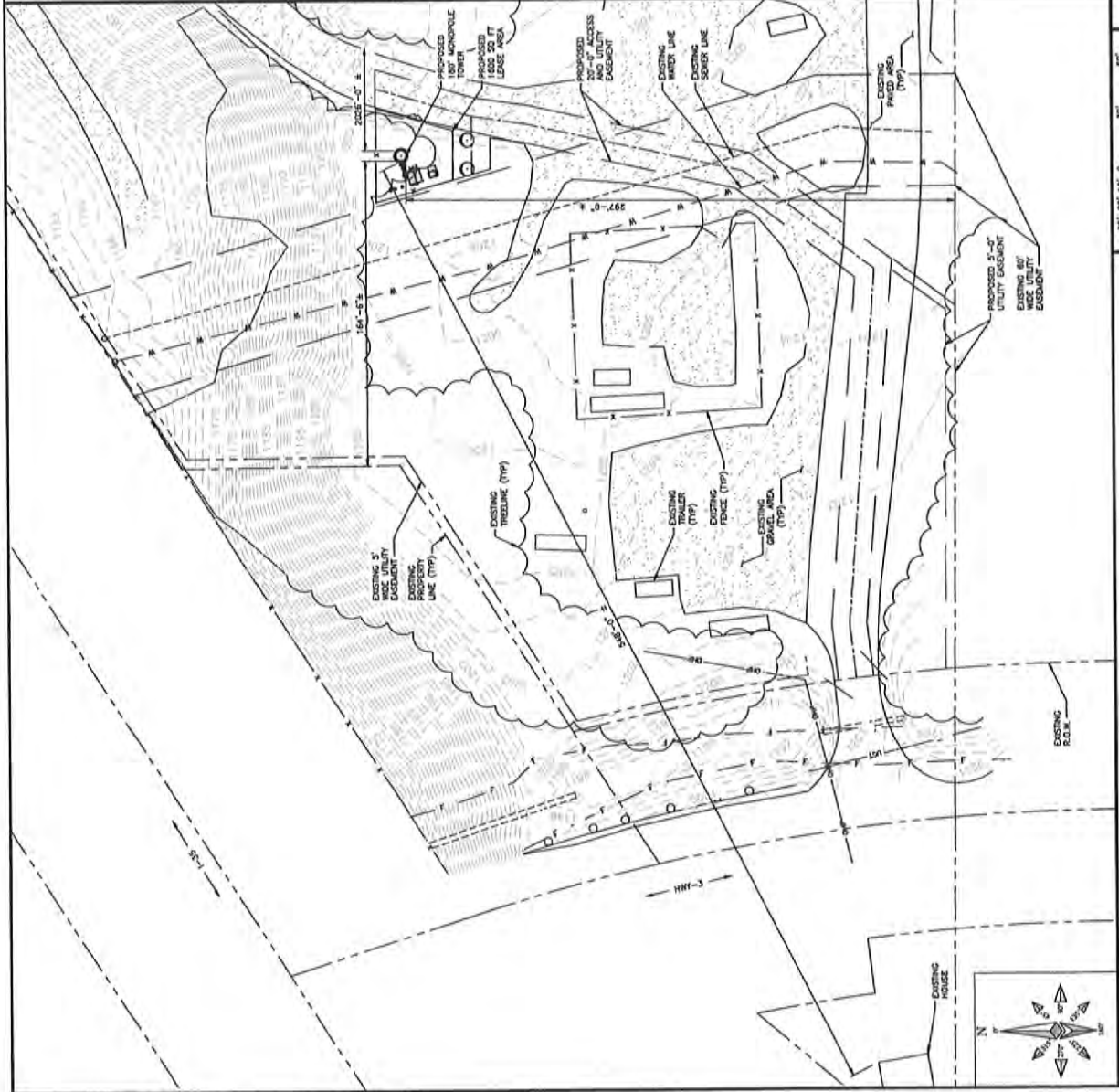
NOT USED

NO SCALE

2

THIS DRAWING IS NOT A SITE SURVEY. THE PURPOSE OF THIS DRAWING IS TO SHOW HOW THE DEVELOPER SITE DESIGN AND CONSTRUCTION WILL AFFECT ADJACENT PROPERTIES.

NOTES



COMPOUND GRADING PLAN

AT&T MOBILITY
7900 XERXES AVE S
3RD FLOOR
BLOOMINGTON MN 55431

BLACK & VEATCH
BLACK & VEATCH CORPORATION
7760 FRANKLIN AVENUE SOUTH
BLOOMINGTON, MN 55435

PROJECT NO:	4142
DOMAIN BY:	AOS
CHECKED BY:	JAT
DATE:	
ISSUED FOR:	ZONING

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATIONS AND NOTES WERE PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.
PRINT NAME: ROBLEY A. EVANS
SIGNATURE: [Signature]
DATE: 01/14/2019 LICENSE: 03119 EXP. 6/20
IT IS A VIOLATION OF LAW FOR ANY PERSON UNLESS THEY ARE A LICENSED PROFESSIONAL ENGINEER TO ALTER THIS DOCUMENT.

CLOUQUET UNIVERSITY
MILWAUKEE, WI 53220
SE CORNER OF 14TH ST AND I-35
CLOUQUET, MN 55720
NSB

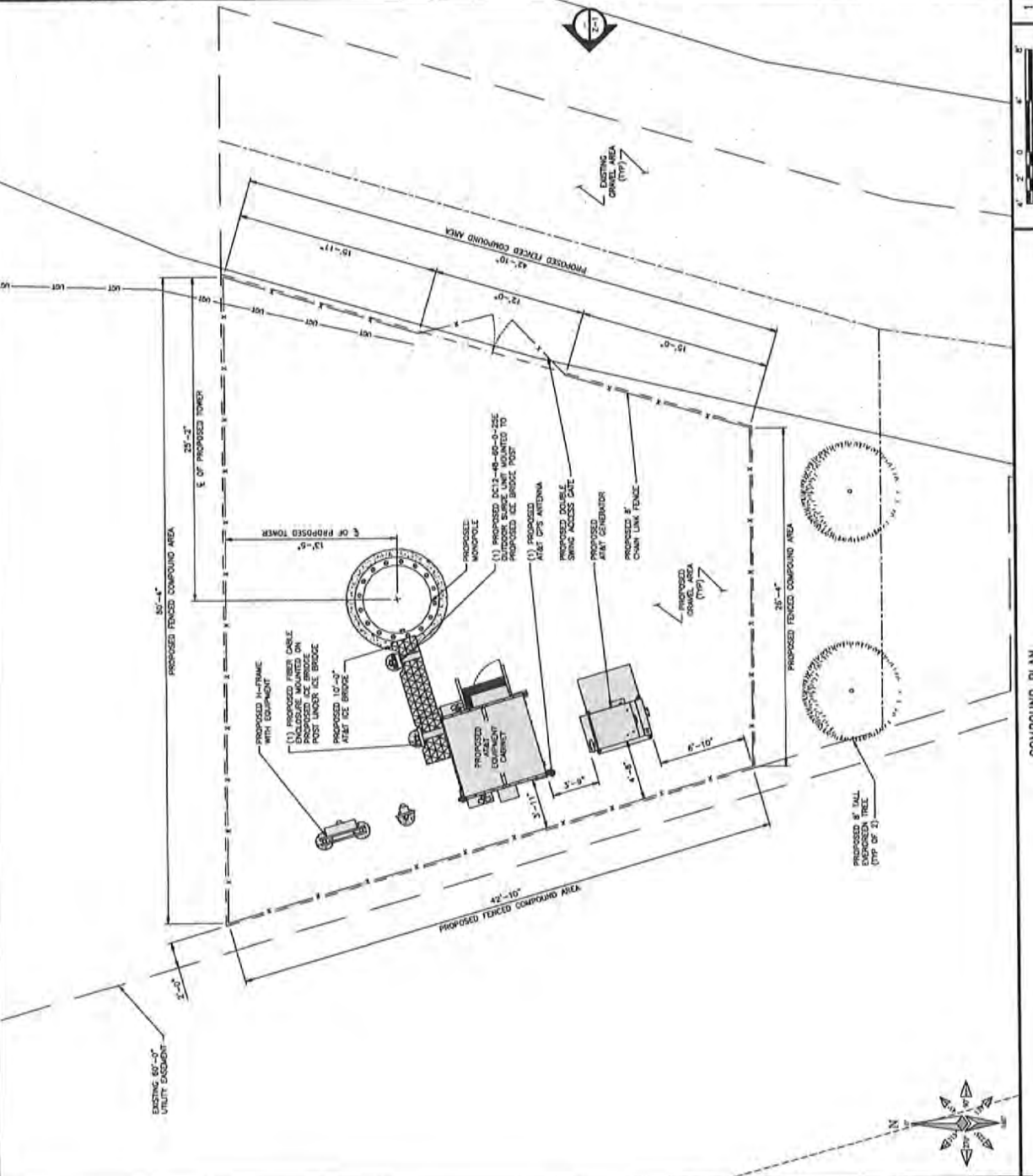
SHEET TITLE
COMPOUND PLAN
SHEET NUMBER
Z-2

THIS IS NOT AN ALL INCLUSIVE LIST. CONTRACTOR SHALL VERIFY ALL NECESSARY PERMITS AS REQUIRED AND PROVIDE EQUIVALENT EQUIPMENT TO PROVIDE A FUNCTIONAL SITE.
THE PROJECT GENERALLY CONSISTS OF THE FOLLOWING:
PROPOSED-TOWER:
INSTALL (1) 30' TOWER
INSTALL (1) 30' TOWER
INSTALL (2) CD WIRELESS MPA-BR-BU-18 ANTENNAS
INSTALL (2) MOBA LTE RRH UNITS
INSTALL (1) MDCP DC-15-50A-1E FIBER DISTRIBUTION UNIT
INSTALL (1) DC POWER TRUNK
INSTALL (1) FIBER TRUNK
PROPOSED-SITE:
INSTALL (1) MOUNTING BRACKET, W/EQUIPMENT (NEH200060)
INSTALL (1) GPS ANTENNA
INSTALL (1) POLAR POWER GENERATOR WITH PLUTONIUM
INSTALL (1) RECHARGER BR-15-ACER RECHARGER
INSTALL (1) 10'x10'x10' ICE BRIDGE
INSTALL APPROXIMATELY 100 LF OF ICE BRIDGE

AT&T TO VERIFY REQUIRED SHELTER EQUIPMENT.

PROJECT DESCRIPTION
1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS.
2. CONTRACTOR SHALL MAINTAIN A 1'-0" MINIMUM SEPARATION BETWEEN THE PROPOSED LTE GPS ANTENNA AND TRANSMITTING ANTENNAS.
3. PROPERTY LINES ARE APPROXIMATIONS ONLY.
4. ANTENNAS & MOUNTS OBTAINED FOR CLARITY.
5. FOR FIBER TRUNK REF ASAT LTE CABLE LINES REV. 1.8 PAGE 13 TABLE 2.1.2.
6. FOR DC POWER CABLE TRUNK REF ASAT LTE CABLE LINES REV. 1.8 PAGE 14 TABLE 2.1.3.

NOTES
WOOD FENCE
CHAIN LINK FENCE
PROPOSED ICE BRIDGE
EXISTING ICE BRIDGE
LEGEND



LEGEND
WOOD FENCE
CHAIN LINK FENCE
PROPOSED ICE BRIDGE
EXISTING ICE BRIDGE

COMPOUND PLAN

1

AT&T
MOBILITY

7900 XERXES AVE S
3RD FLOOR
BLOOMINGTON MN 55431



BLACK & VEATCH
BLACK & VEATCH CORPORATION
7760 FRANKLIN AVENUE, SUITE 1200
BLOOMINGTON, MN 55435

PROJECT NO: 4142
DRAWN BY: AGS
CHECKED BY: JAT

NO	DATE	DESCRIPTION
1	10/27/14	ISSUED FOR BIDDING

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION AND CONTRACT DOCUMENTS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME: ROBEY A. EVANS

SIGNATURE: *[Signature]*

DATE: 10/14/2015 LICENSE# 43719 EXP. 6/20

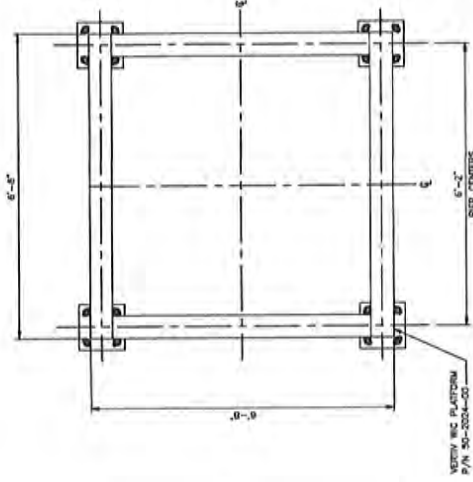
IF AS A HOLDER OF LAW FOR ANY PERSON, I AM NOT A LICENSED PROFESSIONAL ENGINEER, TO ADD THE FOLLOWING:

CLOUQUET UNIVERSITY
MN105453
SE CORNER OF 14TH ST AND I-35
CLOUQUET, MN 55720
NSB

SHEET TITLE
WIC PLATFORM
W/GENERATOR

SHEET NUMBER
Z-3

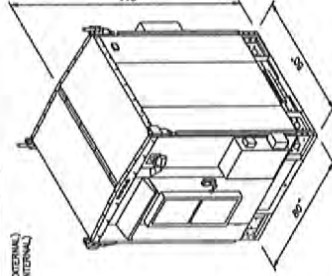
NOTE:
1. DIMENSIONS ARE FOR GRAPHIC REPRESENTATION OF THE FINAL ASSEMBLY. CONTRACTOR MUST REFER TO MANUFACTURER'S DRAWINGS PRIOR TO CONSTRUCTION.
2. PLATFORM SHOWN IS FOR THE VERTY WALK-IN CABINET P/N 72016917-27204 WIC (FULL ASSEMBLED) OR 72016914-27204-4 (BULD OR KIT)



WIC PLATFORM PLAN

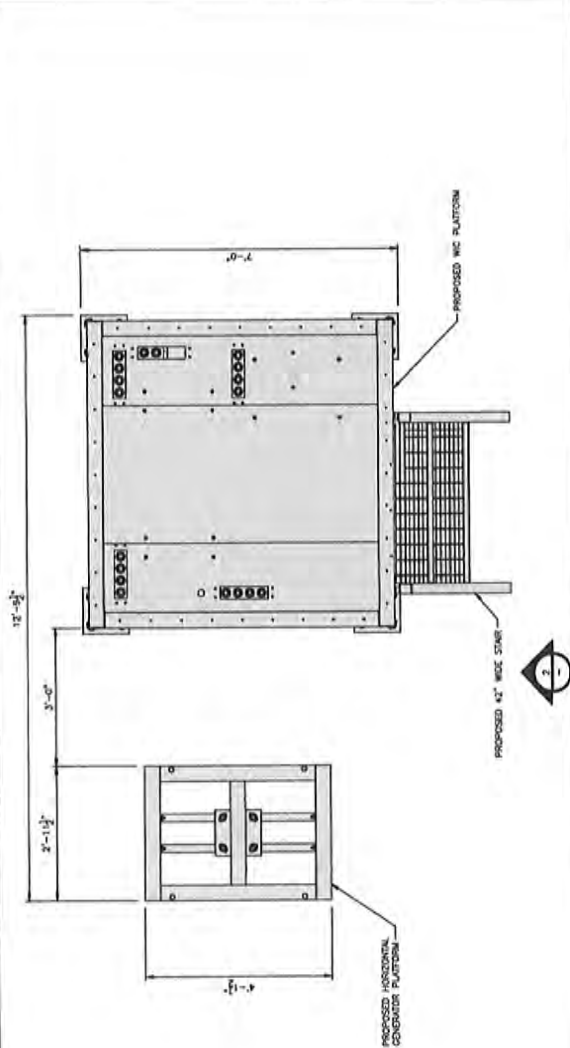
VERTY - XIE 801 - 6'x6' WALK IN CABINET (WIC)

DIMENSIONS: MARKS:
112.0"X80.0"X80.0" (EXTERNAL)
102.0"X72.0"X72.0" (INTERNAL)
WEIGHT:
~4000 lbs (EMPTY)
~7000 lbs (FULL)



NO SCALE

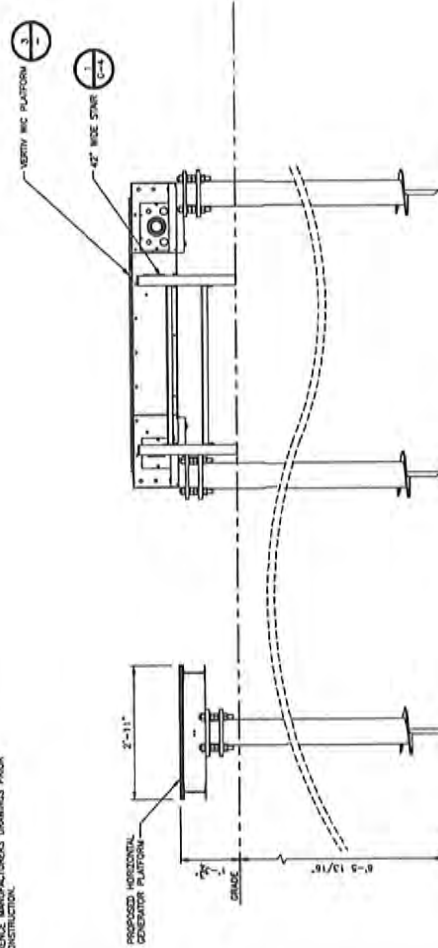
NO SCALE



WIC PLATFORM LAYOUT PLAN

NO SCALE

NOTE:
1. DIMENSIONS ARE FOR GRAPHIC REPRESENTATION OF THE FINAL ASSEMBLY. CONTRACTOR MUST REFER TO MANUFACTURER'S DRAWINGS PRIOR TO CONSTRUCTION.

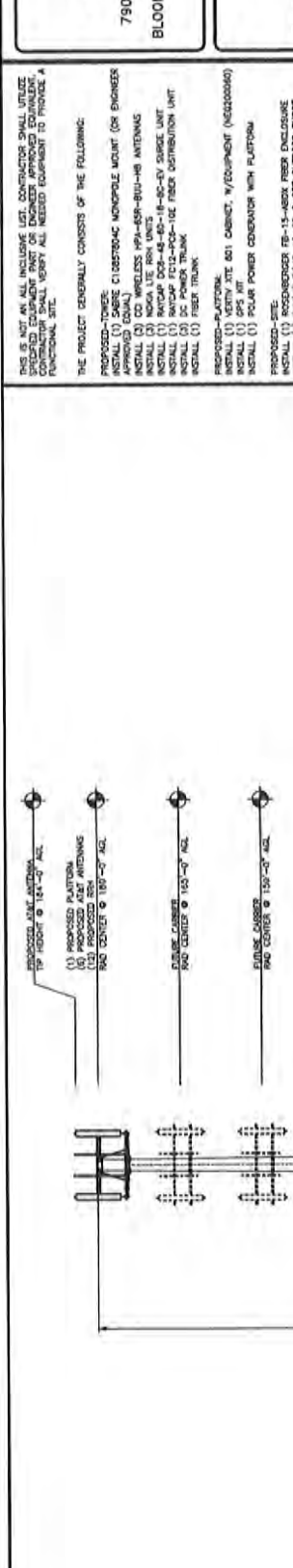


WIC PLATFORM ELEVATION

NO SCALE

WADENRACHENDE TIRAIL

NO SCALE



AT&T TO VERIFY REQUIRED PLATFORM EQUIPMENT.

AT&T MOBILITY
7900 XERES AVE S.
3RD FLOOR
BLOOMINGTON MN 55431

BLACK & VEATCH
BLACK & VEATCH CORPORATION
7760 FRANCE AVENUE SOUTH
BLOOMINGTON, MN 55435

PROJECT NO:	4142
DRAWN BY:	ASJ
CHECKED BY:	JAT

NO	DATE	ISSUED FOR	REVISION
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			
13			
14			
15			
16			
17			
18			
19			
20			

PROPOSED-TOWER
INSTALL (1) MONOPOLE
INSTALL (2) WIRELESS 19A-60R-BU-H8 ANTENNAS
INSTALL (2) MOGA LTE RISK UNITS
INSTALL (1) MOGA 14-30VY-300E UNIT
INSTALL (1) BNCADP 1012-100-10E FIBER DISTRIBUTION UNIT
INSTALL (2) DC POWER TRUNK
INSTALL (1) FIBER TRUNK

PROPOSED-PLATFORM
INSTALL (1) VERTIV XTE 801 CABINET, W/EQUIPMENT (NEMA000040)
INSTALL (1) 205 BT
INSTALL (1) 150W POWER CONDENSER WITH PLATFORM
PROPOSED-SITE
INSTALL (1) 15-AW9V RFRDR DISCHARGE
INSTALL (1) BNCADP 1012-100-10E OUTDOOR SOURCE
INSTALL APPROXIMATELY 2X 17' OF ICE BRIDGE

PROJECT DESCRIPTION

- FENCE NOT SHOWN FOR CLARITY.
- PROPOSED PLAT ANTENNAS AND CENTER USE STAKEABLE SWIM-LINE VALLEY PANT NUMBER 559-158-3 (OR ENGINEER APPROVED EQUAL)

NOTES

A MOUNT ANALYSIS HAS NOT BEEN PERFORMED AS A PART OF THE SCOPE OF WORK INCLUDED IN THESE CONSTRUCTION DRAWINGS.

MOUNT ANALYSIS NOTE

THE PROPOSED TOWER IS BEING DESIGNED BY OTHERS TO CARRY THE PROPOSED AND FUTURE AIRWAYS, CABLES, AND WIRING. IT IS THE RESPONSIBILITY OF THE USER OF THESE DRAWINGS TO ASSURE THAT THE TOWER HAS SUFFICIENT CAPACITY TO SUPPORT THE PROPOSED AND FUTURE LOADS. IF REQUIRED, THE PROPOSED TOWER SHALL INCLUDE FEM ANALYSIS PERFORMED BY OTHERS TO VERIFY THAT THE TOWER CAN SUPPORT THE LOADS. THE TOP LIGHT SHALL BE INSTALLED SUCH THAT THE BASE OF THE LIGHT IS A MINIMUM OF 1'-0" ABOVE THE TOP OF THE TOWER. THE TOWER SHALL BE CONSTRUCTED OF LIGHTNING ROD TO BE INSTALLED BY OTHERS.

STRUCTURAL NOTE

1/2" W x 4" S 10' 30"
3/32" x 1'-0"

1. HEREBY CERTIFY THAT THIS PLAN, SPECIFICATIONS, AND DRAWINGS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME: ROBBY A. EDWARDS
SIGNATURE: [Signature]
DATE: 10/14/2012 LICENSE#: 03119 EXP. 6/20

IT IS A VIOLATION OF LAW FOR ANY PERSON, OTHER THAN A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

CLOUQUET UNIVERSITY
MN105453
CORNER OF 14TH ST AND I-35
CLOUQUET, MN 55720
NSB

SHEET TITLE
TOWER ELEVATIONS

SHEET NUMBER
Z-4

PROPOSED TOWER EAST ELEVATION



COMMUNITY DEVELOPMENT DEPARTMENT

101 14th Street • Cloquet MN 55720

Phone: 218-879-2507 • Fax: 218-879-6555

www.cloquetmn.gov

To: Planning Commission
From: Al Cottingham, City Planner/Zoning Administrator
Date: March 4, 2020

ITEM DESCRIPTION: Zoning Discussion for Mobile Storage Structures (Shipping Containers)

The City Council has asked that the Planning Commission look at the Ordinance pertaining to “Mobile Storage Structures” following complaints that had been received pertaining to units being used as mini storage units on a site. The following is the section from the Zoning Ordinance pertaining to “Mobile Storage Structures”.

Section 17.5.07 Mobile Storage Structures. Any assembly of materials which is so designed, constructed or reconstructed to make it portable and capable of movement from on site to another, designed to be used without a permanent foundation, designed with the purpose of storing tangible property and not for occupancy by persons, and to have one dimension exceeding ten (10) feet.

Subd. 1 Procedure. The erection of a mobile storage structure shall require an administrative permit as may be issued by the City Planner/Zoning Administrator, except as otherwise provided by this Chapter.

Subd. 2 Special Requirements.

- A. Location. Mobile storage structures may be located as a temporary structure on property within the City.
- B. Time Limitations. Mobile storage structures are allowed for a period not exceeding 48 hours in duration on a public street and not exceeding three weeks on private property, from time of delivery to time of removal. Exceptions for special circumstances may be granted by the City Planner/Zoning Administrator.
- C. Placement. No more than one mobile storage structure may be located on a specific piece of property within the City at one time. Such temporary structure may not be located on a specific property more than two times in any sixty-calendar-day period. Such temporary structure shall be located no closer than ten (10) feet to the property line unless on a driveway and must be placed on an impervious surface. Such structure may not be placed in a fire lane, or sidewalk. Such structure may not exceed eight feet six inches in height, ten (10) feet in width or twenty (20) feet in length. It shall be the obligation of the owner or user of such temporary structure to secure it in a manner that does not endanger the safety of persons or property in the vicinity of the temporary structure.

Staff acknowledges there are a number of these structures throughout the community on both commercial and residential properties. However, in all of these cases they are being used for personal use and not as a business to generate revenue. Staff is looking for some feedback on these types of units and how we want to handle them in the Ordinance. There are two separate issues involved:

1. Having a unit(s) on your property for personal use.
2. Having a unit(s) on your property for others to use on your property.

As a second issue with this particular property, it is located within the Highway 33 corridor and thus is subject to the Highway 33 Design Standards. The design standards require an exterior façade of primarily masonry, concrete, brick or EIFS (exterior insulating finish system), or stucco, and may have metal or wood trim. Metal buildings may be allowed, provided exterior facades which can be viewed from a ‘public way’ (i.e. public or private roadway) are at least fifty percent (50%) masonry, concrete, brick EIFS or wood. If all sides of a building can be viewed from a ‘public way’, a minimum of two (2) sides of the building shall have exterior facades constructed to this standard.

The City Council has asked that the Planning Commission review the limits of the Highway 33 Design Standards to see if they should extend to the northern city limits or if they should terminate at some location south of the city limits.

Staff is looking for some discussion and direction from the Planning Commission on these two topics and would then come back with some draft ordinance language for review prior to scheduling a public hearing on the new language.





COMMUNITY DEVELOPMENT DEPARTMENT

101 14th Street • Cloquet MN 55720

Phone: 218-879-2507 • Fax: 218-879-6555

www.cloquetmn.gov

To: Planning Commission
From: Al Cottingham, City Planner/Zoning Administrator
Date: March 4, 2020

ITEM DESCRIPTION: Zoning Discussion for Short Term Vacation Rentals

Staff has received some inquiries over the past few months regarding Short Term Vacation Rentals (VRBO). Staff's interpretation of the Zoning Ordinance is that they are not allowed. We do allow for Bed & Breakfast as a Conditional Use provided the owner or manager resides within the dwelling.

Short term rentals are generally for a period of nightly, weekly and for less than thirty days and is not occupied by the owner or manager. Questions have been raised as to this being a commercial use and belongs in a commercial district and not in a residential district.

At this time staff is looking for some general discussion as to whether we want to pursue this further or continue the path that has been taken and not allow them.