



CITY OF CLOQUET
City Council Agenda
AMENDED
Tuesday, March 17, 2020
7:00 p.m.
City Hall Council Chambers

6:30 WORK SESSION

6:30 Pine Valley Arena Update - McKinstry

1. **Roll Call**
2. **Pledge of Allegiance**
3. **Approval of Agenda**
 - a. Approval of March 17, 2020 Council Agenda
4. **Approval of Council Minutes**
 - a. Regular Council minutes from the March 5, 2020 meeting
5. **Public Comments**

Please give your name, address, and your concern or comments. Visitors may share their concerns with the City Council on any issue of public business. Each person will have 3 minutes to speak. The Mayor reserves the right to limit an individual or successive individual's presentation if they become redundant, repetitive, irrelevant or overly argumentative. All comments will be taken under advisement by the City Council. No action will be taken at this time.
6. **Consent Agenda**

Items in the Consent Agenda are considered routine and will be approved with one motion without discussion/debate. The Mayor will ask if any Council members wish to remove an item. If no items are to be removed, the Mayor will then ask for a motion to approve the Consent Agenda.

 - a. Resolution No. 20-16, Authorizing the Payment of Bills
 - b. Resolution No. 20-14, Approving the Site Plan for Leonard Conklin
 - c. Fond du Lac Trail Agreement Amendment



**CITY OF CLOQUET
City Council Agenda
AMENDED
Tuesday, March 17, 2020
7:00 p.m.
City Hall Council Chambers**

7. Public Hearings

None.

8. Presentations

None.

9. Council Business

- a. Library Relocation Expense
- b. Resolution No. 20-15, Resolution Approving the Conditional Use Permit for AT&T Mobility/Hall Institute, Inc. for a Cellular Tower in the MRC-Mixed Residential/Commercial District
- c. Resolution No. 20-18, Ordering a Feasibility Study Regarding the Paving of Jolicouer Trails First Addition
- d. Public Works Trucks Purchase
- e. Water Treatment Plant Change Order #3

10. Council Comments, Announcements, and Updates

11. Adjournment



ADMINISTRATIVE OFFICES

101 14th Street Cloquet, MN 55720-1903
Phone: 218.879.3347 Fax: 218.879.6555
www.cloquetmn.gov

REQUEST FOR COUNCIL ACTION

To: Mayor and City Council
From: Mary Kay Hohensee-Mayer, Assistant Finance Director
Reviewed/Approved by: Tim Peterson, City Administrator
Date: March 17, 2020

ITEM DESCRIPTION: Payment of Bills

Proposed Action

Staff recommends the Council move to adopt **RESOLUTION NO. 20-16, A RESOLUTION AUTHORIZING THE PAYMENT OF BILLS.**

Background/Overview

Statutory Cities are required to have most claims authorized by the city council.

Policy Objectives

MN State Statute sections 412.271, Claims and disbursements for Statutory Cities.

Financial/Budget/Grant Considerations

See resolution for amounts charged to each individual fund.

Advisory Committee/Commission Action

Not applicable.

Supporting Documents Attached

- a. Resolution Authorizing the Payment of Bills.
- b. Vendor Summary Report.
- c. Department Summary Report.

**CITY OF CLOQUET
COUNTY OF CARLTON
STATE OF MINNESOTA**

RESOLUTION NO. 20-16

A RESOLUTION AUTHORIZING THE PAYMENT OF BILLS

WHEREAS, The City has various bills each month that require payment.

NOW, THEREFORE, BE IT RESOLVED, BY THE CITY COUNCIL OF THE CITY OF CLOQUET, MINNESOTA, That the bills be paid and charged to the following funds:

101	General Fund	\$	138,867.34
202	Federal CDBG Loan (EDA)		46.00
231	Public Works Reserve		1,491.72
403	Revolving Capital Projects		27,585.56
600	Water - Lake Superior Waterline		84,778.85
601	Water - In Town System		328,445.45
602	Sewer Fund		2,836.88
605	Stormwater Fund		275.23
614	CAT-7		1,372.91
	TOTAL:	\$	<u>585,699.94</u>

**PASSED AND ADOPTED BY THE CITY COUNCIL OF THE CITY OF CLOQUET
THIS 17TH DAY OF MARCH, 2020.**

ATTEST:

Roger Maki, Mayor

Tim Peterson, City Administrator

INVOICES DUE ON/BEFORE 03/17/2020

VENDOR #	NAME	PAID THIS FISCAL YEAR	AMOUNT DUE
110902	ABRA AUTO BODY & GLASS -	4,523.12	7,180.71
111350	LEXISNEXIS RISK DATA MNGMT INC	450.00	150.00
121000	ARROWHEAD SPRINGS INC	187.75	80.00
121350	ASPEN MILLS	1,115.27	254.07
122000	A T & T MOBILITY	2,364.60	382.30
122958	AUTO ZONE, INC.	209.51	279.98
123050	B & B MARKET	0.00	126.00
125700	BEST OIL COMPANY	40,978.33	15,063.71
132375	CAMPBELL KNUTSON	1,133.25	1,848.00
134300	CARLTON COUNTY RECORDER	138.00	46.00
137340	CHAMBERLAIN OIL CO., INC.	5,056.14	409.16
139030	CINTAS CORPORATION NO 2	1,787.30	808.53
139800	CLOQUET AREA CHAMBER OF COMMER	15,817.43	15,000.00
141100	CLOQUET FORD-CHRYSLER CENTER	627.34	145.92
142800	CLOQUET SANITARY SERVICE	2,021.24	833.21
144500	CMC GOVERNMENT SUPPLY	0.00	12,974.00
145500	COMPENSATION CONSULTANTS, LTD	814.00	207.00
148800	CROW GOEBEL VETERINARY CLINIC	7,460.46	110.00
150100	D A L C O	1,215.81	98.62
152485	DEAD ON ARMS INC	92.00	1,248.00
153300	DIAMOND DRILLING	186.00	558.00
156400	CITY OF DULUTH COMFORT SYSTEMS	214.89	59.63
158000	DULUTH/SUPERIOR COMMUNICATIONS	4,783.95	265.00
161675	EMC NATIONAL LIFE	4,605.30	1,298.50
162640	ENVENTIS TELECOM INC	95.83	47.91
165375	FERGUSON WATERWORKS #2516	1,941.27	12,808.36
171100	FRYBERGER, BUCHANAN, SMITH &	16,810.20	9,954.35
172300	GARTNER REFRIGERATION COMPANY	18,232.62	190.82
175200	GOPHER STATE ONE CALL INC	91.85	27.00
175950	GRAPHIC TECHNOLOGIES	377.50	72.00
178700	H & L MESABI	1,851.07	732.78
179300	HACH COMPANY	158.29	72.64
180500	HAWKINS INC	7,707.98	2,486.07
184150	JLA INDUSTRIAL EQUIPMENT INC	0.00	1,758.40
192225	JOBHQ	1,557.00	699.84
197800	L & M SUPPLY CO	3,889.60	1,502.18
202300	LEAGUE OF MN CITIES	3,910.40	520.00
205050	LOFFLER COMPANIES INC	137.33	41.66
207047	MAGNEY CONSTRUCTION	165,243.78	264,901.28
211400	MENARDS INC	554.54	120.54
211645	METERING & TECHNOLOGY SOLUTION	130.82	887.92
212055	MEYER GROUP ARCHITECTURE	9,212.86	27,585.56
212700	MID-STATE TRUCK SERVICE INC	386.02	525.40
218400	MN CHIEFS OF POLICE ASSOC	765.50	157.00

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CITY OF CLOQUET
VENDOR SUMMARY REPORT

PAGE: 2

INVOICES DUE ON/BEFORE 03/17/2020

VENDOR #	NAME	PAID THIS FISCAL YEAR	AMOUNT DUE
219067	MN DEPT OF ADMINISTRATION	3,670.44	1,491.72
222275	MN PEIP	110,869.48	54,896.14
223300	MN POWER	1,272.30	100.00
225975	MATHY CONSTRUCTION COMPANY	0.00	850.75
229500	NAPA AUTO PARTS	1,667.50	102.42
234600	NORTHERN BUSINESS PRODUCTS	1,522.65	830.37
236125	NORTHLAND FIRE & SAFETY, INC	233.90	45.90
236500	NORTHWOODS POWER EQUIPMENT	18,755.25	47.99
244975	PINE KNOT LLC	160.00	80.75
247400	396-PRAXAIR DISTRIBUTION, INC.	2,340.60	6.86
260600	WILLIAM SCHLENOGT	0.00	294.38
268800	STOCK TIRE COMPANY	438.90	572.00
269300	STREICHER'S	4,920.25	680.44
270200	SUPERIOR COMPUTER PRODUCTS INC	23,866.71	7,282.00
270300	SWAGIT PRODUCTIONS, LLC	2,650.00	1,325.00
271325	NANCY GETCHELL	680.09	386.80
272600	TERMINAL SUPPLY INC	660.68	362.47
277500	TURBO DIESEL & ELECTRIC	3,526.01	234.72
278600	TWIN PORT MAILING	14,839.67	231.73
279100	U S BANK EQUIPMENT FINANCE	1,778.56	129.74
283700	USA BLUEBOOK	1,391.06	351.21
284875	VERIZON WIRELESS	5,024.04	1,416.35
289015	WELLS FARGO CREDIT CARD	12,411.01	5,203.89
R0000062	JUDY VUKELICH	0.00	207.79
R0000294	SUZANNE ERICKSON	0.00	116.05
R0000297	JOYCE FRITSINGER	100.47	87.45
R0000299	DENISE HAMMOND	0.00	280.95
R0000302	CARLA HOULE	0.00	243.55
R0000325	CHRISTINA DEBLASS	187.48	180.86
R0000326	RONALD ANDERSON	0.00	245.00
R0000515	JOSEPH LEE PETERSON	0.00	198.00
R0000516	JANET JOHNSON	0.00	148.43
R0000672	KAREN DORMANEN	0.00	119.50
R0000673	ELISE RIESCHL	0.00	276.25
R0000866	PATRICK BEGAN	0.00	209.75
R0000867	JAMES CITROWSKI	0.00	272.80
R0000868	IRENE RUDNICKI	0.00	222.40
R0000870	CYNTHIA KILMAN	188.86	187.73
R0000897	DIANE SCHMIDT	0.00	137.50
R0000900	RUSSELL SCHMIDT	0.00	106.35
R0001137	ANN STANGLAND	187.02	182.30
R0001368	LISA TILNEY	0.00	222.33
R0001370	MARY KROHN	0.00	114.90
R0001373	YVONNE BASTIEN	0.00	206.30

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CITY OF CLOQUET
VENDOR SUMMARY REPORT

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INVOICES DUE ON/BEFORE 03/17/2020

VENDOR #	NAME	PAID THIS FISCAL YEAR	AMOUNT DUE
R0001375	VICKI OBERSTAR	0.00	233.83
R0001376	KAREN SMITH	0.00	207.79
R0001377	EILEEN CHRISTOPHERSON	0.00	202.77
R0001378	JESSICA LOONS	218.63	223.90
R0001380	BRENDA ALANEN	0.00	242.03
R0001382	CHRIS CONNER	0.00	206.63
R0001420	DAVID PETERSON	0.00	204.45
R0001424	GOLDIE DEMERS	0.00	204.91
R0001425	CAROL PERTTULA	0.00	205.20
R0001428	PAUL HOLM	0.00	198.00
R0001548	MINIT MART 557	264.00	96.00
R0001588	NARTEC INC	0.00	201.00
R0001650	PATRICIA GEORGE	0.00	203.75
R0001686	JASON GOWARD	0.00	170.88
R0001721	DETROIT INDUSTRIAL TOOL	0.00	182.55
R0001895	BECKY DOOLEY	0.00	238.93
R0001896	BONNIE CHAPMAN	0.00	143.96
R0001897	CECEAL ANDERSON	0.00	221.25
R0001898	ANN GULLION	0.00	160.75
R0001899	JOSEPH ULSBY	0.00	136.68
R0001900	WWGOETSCH	0.00	4,340.91
R0001901	MEBULBS	0.00	2,168.99
TOTAL ALL VENDORS:			475,803.03

City of Cloquet
Vendor Summary Report Reconciliation
Invoices Due On/Before 3/17/2020

Total	475,803.03
Less:	
Library	(296.60)
Cloquet Area Fire District	(3,116.90)
Total City Bills	<u>472,389.53</u>
Less:	
Payroll benefits	(56,194.64)
Plus:	
Credit card/PSN fees	2,042.15
Debt Wires & Other	31,371.20
MN Energy Auto Pay	5,221.86
MN Power Auto Pay	121,675.42
MN Sales Tax	1,307.42
Unemployment Benefits	7,887.00
Total Bills	<u><u>585,699.94</u></u>

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CITY OF CLOQUET
DEPARTMENT SUMMARY REPORT

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INVOICES DUE ON/BEFORE 03/17/2020

VENDOR #	NAME	PAID THIS FISCAL YEAR	AMOUNT DUE

GENERAL FUND			
00			
161675	EMC NATIONAL LIFE	4,605.30	1,298.50
222275	MN PEIP	110,869.48	54,896.14
			56,194.64
34	CHARGES FOR SERVICES		
142800	CLOQUET SANITARY SERVICE	2,021.24	8.67
	CHARGES FOR SERVICES		8.67
41	GENERAL GOVERNMENT		
132375	CAMPBELL KNUTSON	1,133.25	1,848.00
139030	CINTAS CORPORATION NO 2	1,787.30	181.02
142800	CLOQUET SANITARY SERVICE	2,021.24	49.10
145500	COMPENSATION CONSULTANTS, LTD	814.00	207.00
150100	D A L C O	1,215.81	49.31
171100	FRYBERGER, BUCHANAN, SMITH &	16,810.20	9,954.35
202300	LEAGUE OF MN CITIES	3,910.40	520.00
234600	NORTHERN BUSINESS PRODUCTS	1,522.65	684.68
260600	WILLIAM SCHLENOGT		294.38
270200	SUPERIOR COMPUTER PRODUCTS INC	23,866.71	6,362.00
278600	TWIN PORT MAILING	14,839.67	90.12
289015	WELLS FARGO CREDIT CARD	12,411.01	2,400.02
R0000062	JUDY VUKELICH		207.79
R0000294	SUZANNE ERICKSON		116.05
R0000297	JOYCE FRITSINGER	100.47	87.45
R0000299	DENISE HAMMOND		280.95
R0000302	CARLA HOULE		243.55
R0000325	CHRISTINA DEBLASS	187.48	180.86
R0000326	RONALD ANDERSON		245.00
R0000515	JOSEPH LEE PETERSON		198.00
R0000516	JANET JOHNSON		148.43
R0000672	KAREN DORMANEN		119.50
R0000673	ELISE RIESCHL		276.25
R0000866	PATRICK BEGAN		209.75
R0000867	JAMES CITROWSKI		272.80
R0000868	IRENE RUDNICKI		222.40
R0000870	CYNTHIA KILMAN	188.86	187.73
R0000897	DIANE SCHMIDT		137.50
R0000900	RUSSELL SCHMIDT		106.35

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CITY OF CLOQUET
DEPARTMENT SUMMARY REPORT

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INVOICES DUE ON/BEFORE 03/17/2020

VENDOR #	NAME	PAID THIS FISCAL YEAR	AMOUNT DUE

GENERAL FUND			
41	GENERAL GOVERNMENT		
R0001137	ANN STANGLAND	187.02	182.30
R0001368	LISA TILNEY		222.33
R0001370	MARY KROHN		114.90
R0001373	YVONNE BASTIEN		206.30
R0001375	VICKI OBERSTAR		233.83
R0001376	KAREN SMITH		207.79
R0001377	EILEEN CHRISTOPHERSON		202.77
R0001378	JESSICA LOONS	218.63	223.90
R0001380	BRENDA ALANEN		242.03
R0001382	CHRIS CONNER		206.63
R0001420	DAVID PETERSON		204.45
R0001424	GOLDIE DEMERS		204.91
R0001425	CAROL PERTTULA		205.20
R0001428	PAUL HOLM		198.00
R0001650	PATRICIA GEORGE		203.75
R0001686	JASON GOWARD		170.88
R0001895	BECKY DOOLEY		238.93
R0001896	BONNIE CHAPMAN		143.96
R0001897	CECEAL ANDERSON		221.25
R0001898	ANN GULLION		160.75
R0001899	JOSEPH ULSBY		136.68
	GENERAL GOVERNMENT		30,011.88
42	PUBLIC SAFETY		
110902	ABRA AUTO BODY & GLASS -	4,523.12	7,180.71
111350	LEXISNEXIS RISK DATA MNGMT INC	450.00	150.00
121350	ASPEN MILLS	1,115.27	254.07
122000	A T & T MOBILITY	2,364.60	382.30
125700	BEST OIL COMPANY	40,978.33	2,745.14
139030	CINTAS CORPORATION NO 2	1,787.30	70.99
141100	CLOQUET FORD-CHRYSLER CENTER	627.34	145.92
142800	CLOQUET SANITARY SERVICE	2,021.24	49.10
144500	CMC GOVERNMENT SUPPLY		12,974.00
148800	CROW GOEBEL VETERINARY CLINIC	7,460.46	110.00
150100	D A L C O	1,215.81	49.31
152485	DEAD ON ARMS INC	92.00	1,248.00
197800	L & M SUPPLY CO	3,889.60	52.99
218400	MN CHIEFS OF POLICE ASSOC	765.50	157.00
234600	NORTHERN BUSINESS PRODUCTS	1,522.65	145.69
236125	NORTHLAND FIRE & SAFETY, INC	233.90	45.90
236500	NORTHWOODS POWER EQUIPMENT	18,755.25	47.99

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CITY OF CLOQUET
DEPARTMENT SUMMARY REPORT

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INVOICES DUE ON/BEFORE 03/17/2020

VENDOR #	NAME	PAID THIS FISCAL YEAR	AMOUNT DUE

GENERAL FUND			
42	PUBLIC SAFETY		
244975	PINE KNOT LLC	160.00	80.75
268800	STOCK TIRE COMPANY	438.90	572.00
269300	STREICHER'S	4,920.25	680.44
270200	SUPERIOR COMPUTER PRODUCTS INC	23,866.71	320.00
271325	NANCY GETCHELL	680.09	386.80
278600	TWIN PORT MAILING	14,839.67	25.75
284875	VERIZON WIRELESS	5,024.04	1,416.35
289015	WELLS FARGO CREDIT CARD	12,411.01	1,037.73
R0001548	MINIT MART 557	264.00	96.00
R0001588	NARTEC INC		201.00
	PUBLIC SAFETY		30,625.93
43	PUBLIC WORKS		
121000	ARROWHEAD SPRINGS INC	187.75	40.00
125700	BEST OIL COMPANY	40,978.33	3,788.98
137340	CHAMBERLAIN OIL CO., INC.	5,056.14	409.16
139030	CINTAS CORPORATION NO 2	1,787.30	283.49
142800	CLOQUET SANITARY SERVICE	2,021.24	58.42
153300	DIAMOND DRILLING	186.00	558.00
175200	GOPHER STATE ONE CALL INC	91.85	13.50
178700	H & L MESABI	1,851.07	732.78
184150	JLA INDUSTRIAL EQUIPMENT INC		1,758.40
192225	JOBSHQ	1,557.00	414.08
197800	L & M SUPPLY CO	3,889.60	174.72
205050	LOFFLER COMPANIES INC	137.33	8.33
212700	MID-STATE TRUCK SERVICE INC	386.02	525.40
223300	MN POWER	1,272.30	100.00
225975	MATHY CONSTRUCTION COMPANY		850.75
229500	NAPA AUTO PARTS	1,667.50	77.53
247400	396-PRAXAIR DISTRIBUTION, INC.	2,340.60	3.43
272600	TERMINAL SUPPLY INC	660.68	362.47
277500	TURBO DIESEL & ELECTRIC	3,526.01	234.72
278600	TWIN PORT MAILING	14,839.67	25.75
279100	U S BANK EQUIPMENT FINANCE	1,778.56	43.25
289015	WELLS FARGO CREDIT CARD	12,411.01	49.05
R0001721	DETROIT INDUSTRIAL TOOL		182.55
	PUBLIC WORKS		10,694.76
45	CULTURE AND RECREATION		

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CITY OF CLOQUET
DEPARTMENT SUMMARY REPORT

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INVOICES DUE ON/BEFORE 03/17/2020

VENDOR #	NAME	PAID THIS FISCAL YEAR	AMOUNT DUE

GENERAL FUND			
45	CULTURE AND RECREATION		
125700	BEST OIL COMPANY	40,978.33	2,749.17
139030	CINTAS CORPORATION NO 2	1,787.30	65.31
142800	CLOQUET SANITARY SERVICE	2,021.24	628.98
165375	FERGUSON WATERWORKS #2516	1,941.27	352.65
172300	GARTNER REFRIGERATION COMPANY	18,232.62	190.82
175950	GRAPHIC TECHNOLOGIES	377.50	72.00
197800	L & M SUPPLY CO	3,889.60	1,204.58
211400	MENARDS INC	554.54	39.72
229500	NAPA AUTO PARTS	1,667.50	24.89
R0001901	MEBULBS		2,168.99
	CULTURE AND RECREATION		7,497.11
46	COMMUNITY DEVELOPMENT		
123050	B & B MARKET		126.00
139800	CLOQUET AREA CHAMBER OF COMMER	15,817.43	15,000.00
278600	TWIN PORT MAILING	14,839.67	12.87
289015	WELLS FARGO CREDIT CARD	12,411.01	244.30
	COMMUNITY DEVELOPMENT		15,383.17
FEDERAL CDBG LOAN (EDA)			
46	COMMUNITY DEVELOPMENT		
134300	CARLTON COUNTY RECORDER	138.00	46.00
	COMMUNITY DEVELOPMENT		46.00
LIBRARY FUND			
45	CULTURE AND RECREATION		
139030	CINTAS CORPORATION NO 2	1,787.30	10.84
192225	JOBSHQ	1,557.00	285.76
	CULTURE AND RECREATION		296.60
PUBLIC WORKS RESERVE			
42	PUBLIC SAFETY		

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CITY OF CLOQUET
DEPARTMENT SUMMARY REPORT

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INVOICES DUE ON/BEFORE 03/17/2020

VENDOR #	NAME	PAID THIS FISCAL YEAR	AMOUNT DUE

PUBLIC WORKS RESERVE			
42	PUBLIC SAFETY		
219067	MN DEPT OF ADMINISTRATION	3,670.44	1,491.72
	PUBLIC SAFETY		1,491.72
CAPITAL PROJECTS - REVOLVING			
81	SPECIAL PROJECTS		
212055	MEYER GROUP ARCHITECTURE	9,212.86	27,585.56
	SPECIAL PROJECTS		27,585.56
WATER - LAKE SUPERIOR WATERLIN			
51	STATION 2		
121000	ARROWHEAD SPRINGS INC	187.75	40.00
139030	CINTAS CORPORATION NO 2	1,787.30	35.68
211400	MENARDS INC	554.54	48.23
	STATION 2		123.91
52	LAKE SUPERIOR WATERLINE		
125700	BEST OIL COMPANY	40,978.33	876.47
139030	CINTAS CORPORATION NO 2	1,787.30	52.02
197800	L & M SUPPLY CO	3,889.60	17.48
	LAKE SUPERIOR WATERLINE		945.97
57	ADMINISTRATION		
156400	CITY OF DULUTH COMFORT SYSTEMS	214.89	59.63
205050	LOFFLER COMPANIES INC	137.33	8.33
270200	SUPERIOR COMPUTER PRODUCTS INC	23,866.71	600.00
	ADMINISTRATION		667.96
WATER - IN TOWN SYSTEM			
00			

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CITY OF CLOQUET
 DEPARTMENT SUMMARY REPORT

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INVOICES DUE ON/BEFORE 03/17/2020

VENDOR #	NAME	PAID THIS FISCAL YEAR	AMOUNT DUE

WATER - IN TOWN SYSTEM			
00			
207047	MAGNEY CONSTRUCTION	165,243.78	195,219.11
			195,219.11
49	CLOQUET		
122958	AUTO ZONE, INC.	209.51	279.98
125700	BEST OIL COMPANY	40,978.33	1,067.44
139030	CINTAS CORPORATION NO 2	1,787.30	44.38
158000	DULUTH/SUPERIOR COMMUNICATIONS	4,783.95	265.00
165375	FERGUSON WATERWORKS #2516	1,941.27	12,204.99
179300	HACH COMPANY	158.29	72.64
180500	HAWKINS INC	7,707.98	2,486.07
197800	L & M SUPPLY CO	3,889.60	34.94
207047	MAGNEY CONSTRUCTION	165,243.78	69,682.17
211400	MENARDS INC	554.54	32.59
211645	METERING & TECHNOLOGY SOLUTION	130.82	887.92
247400	396-PRAXAIR DISTRIBUTION, INC.	2,340.60	2.06
283700	USA BLUEBOOK	1,391.06	351.21
R0001900	WWGOETSCH		4,340.91
	CLOQUET		91,752.30
54	BILLING & COLLECTION		
278600	TWIN PORT MAILING	14,839.67	25.75
289015	WELLS FARGO CREDIT CARD	12,411.01	199.00
	BILLING & COLLECTION		224.75
57	ADMINISTRATION & GENERAL		
142800	CLOQUET SANITARY SERVICE	2,021.24	19.47
175200	GOPHER STATE ONE CALL INC	91.85	8.10
205050	LOFFLER COMPANIES INC	137.33	8.33
278600	TWIN PORT MAILING	14,839.67	25.75
279100	U S BANK EQUIPMENT FINANCE	1,778.56	43.25
289015	WELLS FARGO CREDIT CARD	12,411.01	325.00
	ADMINISTRATION & GENERAL		429.90

DATE: 03/12/20
TIME: 11:46:23
ID: AP443000.WOW

CITY OF CLOQUET
DEPARTMENT SUMMARY REPORT

PAGE: 7

INVOICES DUE ON/BEFORE 03/17/2020

VENDOR #	NAME	PAID THIS FISCAL YEAR	AMOUNT DUE

ENTERPRISE FUND - SEWER			
55	SANITARY SEWER		
125700	BEST OIL COMPANY	40,978.33	719.61
139030	CINTAS CORPORATION NO 2	1,787.30	64.80
197800	L & M SUPPLY CO	3,889.60	17.47
247400	396-PRAXAIR DISTRIBUTION, INC.	2,340.60	1.37
	SANITARY SEWER		803.25
56	LIFT STATIONS		
289015	WELLS FARGO CREDIT CARD	12,411.01	32.34
	LIFT STATIONS		32.34
57	ADMINISTRATION & GENERAL		
142800	CLOQUET SANITARY SERVICE	2,021.24	19.47
175200	GOPHER STATE ONE CALL INC	91.85	5.40
205050	LOFFLER COMPANIES INC	137.33	8.33
278600	TWIN PORT MAILING	14,839.67	25.74
279100	U S BANK EQUIPMENT FINANCE	1,778.56	43.24
289015	WELLS FARGO CREDIT CARD	12,411.01	900.28
	ADMINISTRATION & GENERAL		1,002.46
STORM WATER UTILITY			
57	ADMINISTRATION & GENERAL		
205050	LOFFLER COMPANIES INC	137.33	8.34
289015	WELLS FARGO CREDIT CARD	12,411.01	16.17
	ADMINISTRATION & GENERAL		24.51
59	OPERATIONS		
165375	FERGUSON WATERWORKS #2516	1,941.27	250.72
	OPERATIONS		250.72

CABLE TELEVISION

DATE: 03/12/20
TIME: 11:46:23
ID: AP443000.WOW

CITY OF CLOQUET
DEPARTMENT SUMMARY REPORT

PAGE: 8

INVOICES DUE ON/BEFORE 03/17/2020

VENDOR #	NAME	PAID THIS FISCAL YEAR	AMOUNT DUE

CABLE TELEVISION			
45	CULTURE AND RECREATION		
162640	ENVENTIS TELECOM INC	95.83	47.91
270300	SWAGIT PRODUCTIONS, LLC	2,650.00	1,325.00
	CULTURE AND RECREATION		1,372.91
CLOQUET AREA FIRE DISTRICT			
42	PUBLIC SAFETY		
125700	BEST OIL COMPANY	40,978.33	3,116.90
	PUBLIC SAFETY		3,116.90
	TOTAL ALL DEPARTMENTS		475,803.03



COMMUNITY DEVELOPMENT DEPARTMENT

101 14th Street • Cloquet MN 55720

Phone: 218-879-2507 • Fax: 218-879-6555

www.cloquetmn.gov

REQUEST FOR COUNCIL ACTION

To: Mayor and City Council
From: Al Cottingham, City Planner/Zoning Administrator
Reviewed/Approved By: Tim Peterson, City Administrator *TCP*
Date: March 11, 2020

ITEM DESCRIPTION: Zoning Case 20-01: Site Plan – Leonard Conklin east of 909 Stanley Avenue

Proposed Action

The Planning Commission recommends the City Council move to adopt:

- **RESOLUTION NO. 20-14, A RESOLUTION APPROVING THE SITE PLAN FOR LEONARD CONKLIN**

Background/Overview

Leonard Conklin has submitted a Site Plan application for a new office building. The site is located east of 909 Stanley Avenue.

The Site Plan is for an approximate 3,264 square foot building with associated parking, landscaping, grading and drainage and building location. The Zoning of the property is RC – Regional Commercial District and offices are a permitted use within the district.

Site Plan

Attached, the Commission will find the following plans for this development:

- Site Plan
- Grading and Drainage Plan
- Utility Plan
- Landscape Plan
- Building Elevations

Stormwater Management: (Section 18.6)

The developer has also run a hydraulic model for storm water which has been reviewed by the City Engineer and needs some minor changes. The stormwater will be collected on site and then discharge to the west along the rear property lines of the site to the west. There is an existing drainage and utility easement along that property line.

The Code requires private stormwater areas to meet the following requirements:

1. A permanent public easement shall be provided to the city for access for inspection and/or maintenance purposes. Cost incurred by the city for any maintenance of private systems will be billed and/or assessed to the owner/operator.
2. Recorded inspection and maintenance agreements that define inspection and maintenance responsibilities are required. A minimum annual inspection for private systems shall be required. These requirements are transferrable to any party that becomes the owner/operator of the site.
3. An inspection and maintenance plan shall be developed, approved and included as an attachment to the maintenance agreement. At a minimum, maintenance plans must include the following:
 - a. Responsible person(s) for completing inspections and conducting maintenance.
 - b. Frequency of inspections and maintenance.
 - c. Inspection checklist and type of maintenance anticipated.
4. If site configurations or structural stormwater BMPs change, causing decreased BMP effectiveness, new or improved structural stormwater BMPs must be implemented to meet the requirements of this section.
5. The property owner shall keep on file all structural stormwater BMP annual inspection and maintenance records for 5 years and submit to the City as requested.
6. The City shall require the submittal of a letter of credit or other financial security in a form acceptable to the city in the amount of \$5,000 to ensure the stormwater treatment systems are installed correctly and in accordance with this ordinance.

Impervious Surface: (Section 17.6.11, Subd. 5. E and F)

The zoning district allows the maximum building coverage to be 60% with a maximum impervious surface coverage of 70%. The total impervious surface coverage is approximately 66%.

Building Setbacks: (Section 17.6.11, Subd. 5. B)

The ordinance requires that the minimum front setback be 35 feet, the minimum side yard setback be 20 feet and the minimum rear yard setback be 30 feet. The proposed building location meets or exceeds these minimum requirements.

Landscaping: (Section 17.5.04 Subd. 5.)

The landscape plan shows 10 overstory plantings plus understory trees and shrubs, the site is required to have 11 overstory plantings a minimum of 2.5 inches in diameter in addition to understory trees and shrubs.

Parking: (Section 17.5.11 Subd. 6.)

The site is required to have 13 parking spaces based on 1 parking stall per every 250 sq. ft. of building. The site plan shows 13 parking spaces.

Trash Storage: (Section 17.5.15 Subd. 7. A (7))

The trash storage area can either be inside the building or an exterior enclosure. The trash storage area will be inside the building.

Signage: (Section 17.5.13 Subd. 14.)

There is no signage proposed at this time. All signage will need to meet the Ordinance requirements.

Lighting: (Section 17.5.12 Subd. 5. B)

The applicant is not proposing any exterior lighting. If any is developed, then it shall be compliant with City lighting standards.

Highway 33 Design Standards: (Section 17.5.15)

All aspects of the Highway 33 Design Standards have been met based on variances that were approved earlier.

Other Site Plan Items:

This site is owned by Mr. Conklin as is the site to the west. Mr. Conklin may wish to consider filing cross easement documents for the shared drive aisle and parking areas. This should be done prior to the sale of either parcel.

Policy Objectives

The purpose of this Site Plan Review application is to ensure that this development project is aligned with city development standards.

Financial Impacts

The Site Plan fee is \$300. The applicant has paid this fee to cover the cost associated with the application process.

Advisory Committee Action Requested

The Planning Commission has recommended approval of the Site Plan subject to the conditions in the attached resolution on a 6 – 0 vote.

Supporting Documents Attachments

- Resolution No. 20-14
- Location Map
- Engineer's Memo March 2, 2020
- Site Plan Maps

**CITY OF CLOQUET
COUNTY OF CARLTON
STATE OF MINNESOTA**

RESOLUTION NO. 20-14

**A RESOLUTION APPROVING THE SITE PLAN IN THE
RC– REGIONAL COMMERCIAL DISTRICT FOR LEONARD CONKLIN**

WHEREAS, Leonard Conklin is proposing a Site Plan in the RC – Regional Commercial District for a 3,264 Sq. Ft. Office Building; and

WHEREAS, the property of the proposed Site Plan is located east of 909 Stanley Avenue and is legally described as follows:

Lot 5, Block 1, Harry Newby’s 1st Addition, Carlton County, Minnesota. And,

WHEREAS, the Planning Commission reviewed the staff report and recommends approval of the Site Plan.

NOW, THEREFORE, BE IT RESOLVED, BY THE CITY COUNCIL OF THE CITY OF CLOQUET, MINNESOTA, that it approves Zoning Case 20-01 for a site plan for Leonard Conklin for a 3,264 square foot office building subject to the following conditions:

1. The required easements, inspection and maintenance agreements, inspection and maintenance plan, financial guarantee and other items as required for the stormwater BMPs must be submitted before a building permit is issued.
2. Compliance with the Assistant City Engineer’s Memo dated March 2, 2020.
3. The landscape plan shall be revised to show 11 overstory plantings a minimum of 2.5 inches in diameter.
4. Signage shall comply with the Ordinance requirements.

PASSED BY THE CITY COUNCIL OF THE CITY OF CLOQUET THIS 17TH DAY OF MARCH 2020.

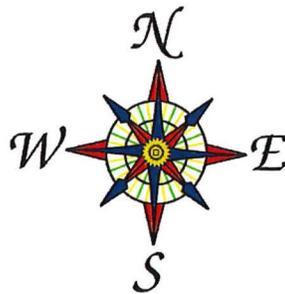
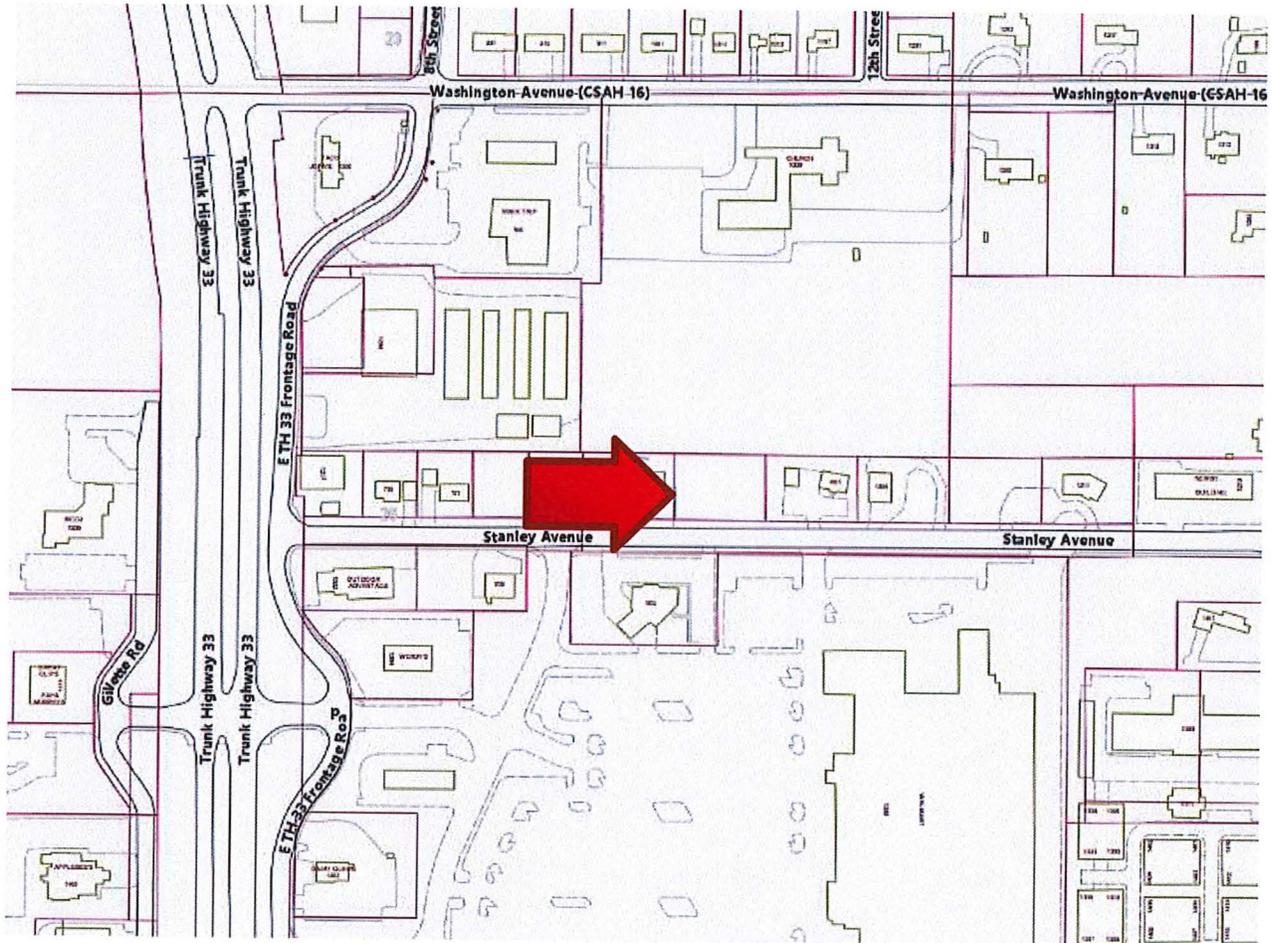
Roger Maki, Mayor

ATTEST:

Tim Peterson, City Administrator

Location Map

Leonard Conklin



No Scale



DEPARTMENT OF PUBLIC WORKS

101 14th Street; Cloquet, MN 55720
Phone: (218) 879-6758 Fax: (218) 879-6555
Street - Water - Sewer - Engineering - Park
www.cloquetmn.gov

MEMO

To: Al Cottingham, City Planner
From: John Anderson, Assistant City Engineer
Date: March 2, 2020

SUBJECT: 911 Stanley Avenue - Site Plan 2nd Review

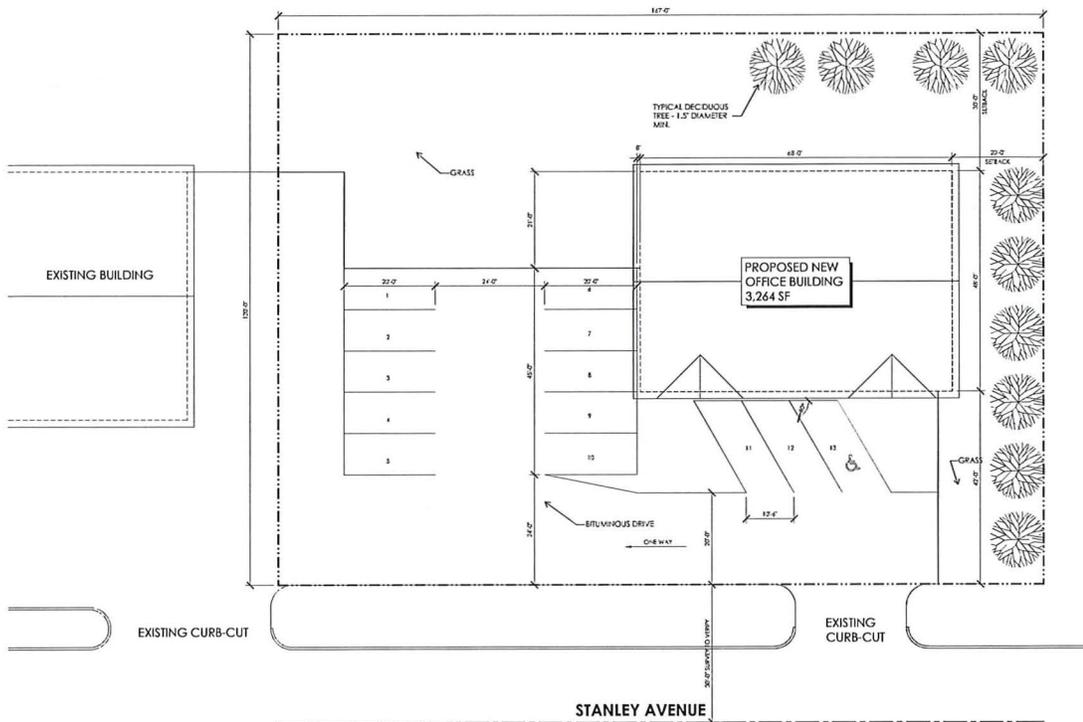
I have reviewed the revised preliminary plans, submitted unsigned and dated 3/2/20, submitted by Arola Architecture Studios LLC. plans contained the following pages:

Site Plan
SITE-1 (grading?)
Drainage calculations

The following are my comments on the plans submitted;

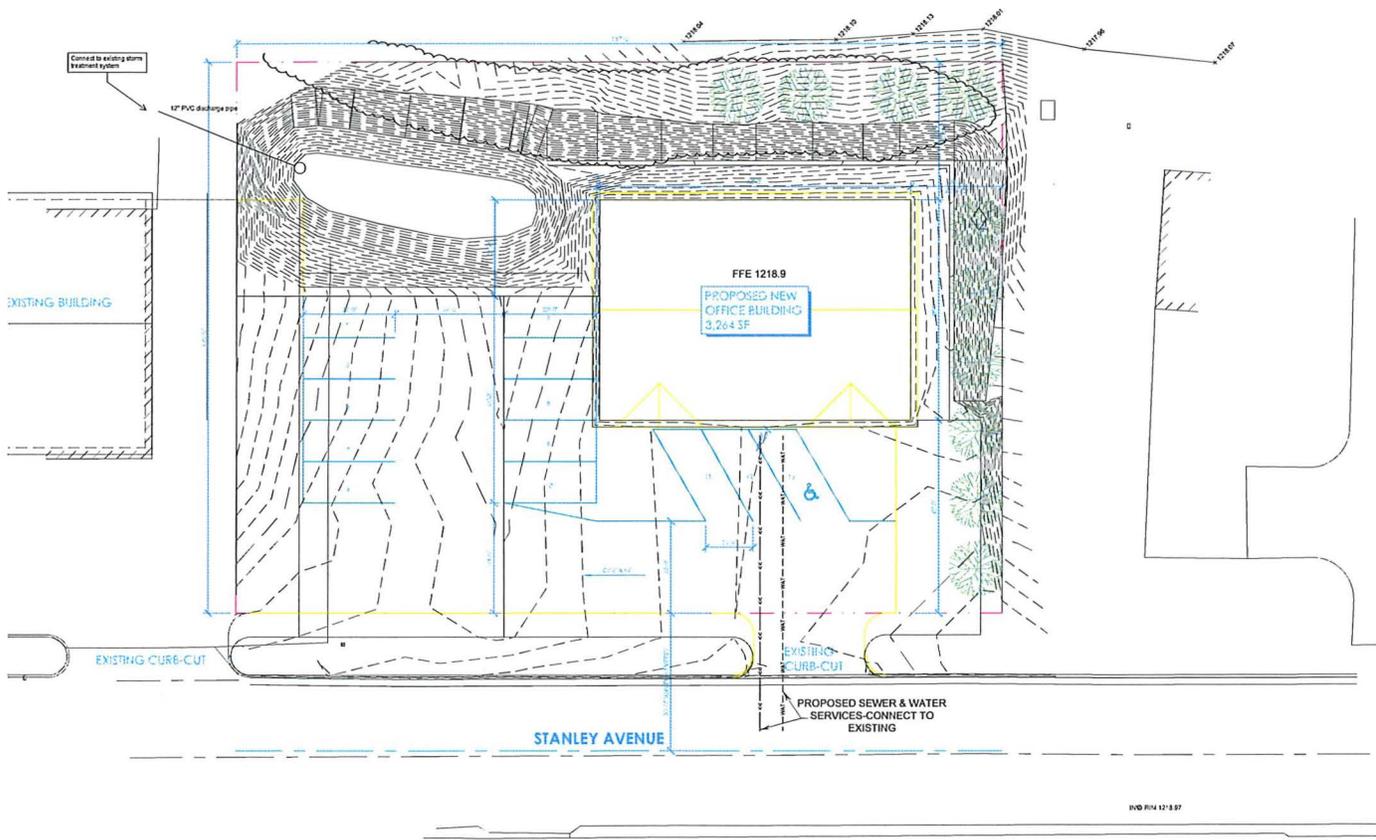
1. The plan does indicate sewer and water connections for the building. The City previously installed sewer and water services, which include a 1" copper water service and a 6" PVC sewer service. The proposed services do not line up with the sewer and water stubs that have been installed.
2. A connection fee will be charged to connect to sewer by WLSSD to be determined at time of permit application. Cost of sewer and water services have been previously assessed to the property (2005 and 1976).
3. The site currently has one curb cut in the curb along Stanley Avenue. The Site plan proposes 1 driveway opening in line with this curb cut. The driveway construction should include a concrete apron behind the curb.
4. The site plan proposes to discharge stormwater to a ditch located at the rear of the parcel adjacent to the site to the west. The elevation of the existing ditch and storm sewer to which the ditch flows should be shown.
5. Drainage calculations have be provided. The drainage calculations show the proposed pond 100 yr HWL is roughly 2 feet above the proposed first floor elevation of the proposed building. The 100 yr hwl must be a minimum of 2 feet below the FFE. The FFE must be a minimum of 1 foot above the EOF (emergency overflow elevation) for the pond. The calculations need to have a summary signed by the design professional who prepared them.

6. The grading on site will require a grading permit issued by the City of Cloquet. A grading plan and an erosion control plan and a Stormwater Pollution Protection Plan shall be developed and submitted for review.
7. Grass swales shown on the plan should be constructed with a minimum slope of 1%
8. Side slopes of the pond should be a maximum of 3:1.
9. Inverts on the outlet pipe should be shown on both the outlet and inlet ends.
10. The plan should include a detail of the discharge structure.
11. A maintenance plan of the stormwater facility and outlet swale shall be provided detailing inspection and maintenance activities to be conducted as needed to operate the stormwater system.
12. The grading plan needs to have existing and proposed contours shown at one-foot increments along with any important spot elevations shown.
13. Erosion control measures need to be shown on the grading plan.
14. The Grading plan should show the elevations of the adjacent buildings as well as pavement grades on adjacent parking lots.



1 SITE PLAN
1" = 12'-0"

	ARCHITECTURE STUDIO, LLC 205 WEST FIRST STREET - CHULUPA, MINNESOTA 55902 218-765-5219 WWW.AROLAARCHI.COM
	ICHT# 16-198 DATE: _____
ICHT# 16-198 PRELIMINARY NOT FOR CONSTRUCTION 03/02/2020	
ICHT# 16-198 ICHT# 16-198	
CLOQUET OFFICE BUILDING 911 STANLEY AVENUE CLOQUET, MINNESOTA 55720	
654 347 XX/XX/XXXX	
1962	
REC'D-S	
1-03-10 SITE	



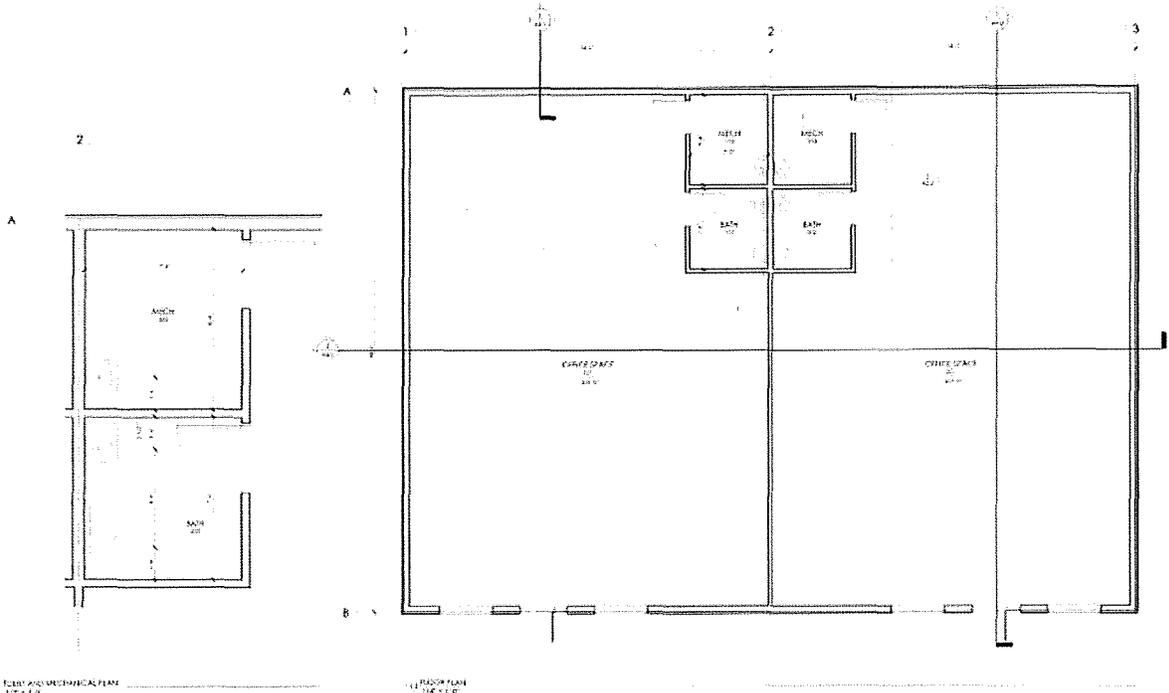
LICENSE BY STATE OF MINNESOTA
 PROFESSIONAL ARCHITECTURE
PRELIMINARY
 NOT FOR CONSTRUCTION
 DATE: 03/07/2020
 LICENSE NO. 3349

CLOQUET OFFICE BUILDING
 911 STANLEY AVENUE
 CLOQUET, MINNESOTA 55720

EDITION
 XX/XX/XXXX
 PROJECT NO.
 1962
 REVISED

SHEET NO.
SITE-1

END PLAN 12' x 8' 0"



MECH. AND PLUMBING PLAN
1/2" = 1'-0"

FLOOR PLAN
1/4" = 1'-0"



PRELIMINARY
NOT FOR CONSTRUCTION
DATE: 10/20/10

CLOQUET OFFICE BUILDING
911 STANLEY AVE
CLOQUET, MINNESOTA 55725

ISSUE NO.
XX/XX/XXXX

NO. OF SHEETS
17/62

REVISION: 1

SHEET NO.
A2.0

PRELIMINARY
 NOT FOR CONSTRUCTION
 DATE: 10/20/16

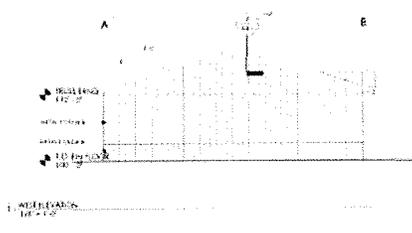
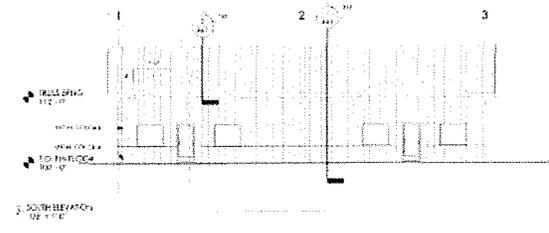
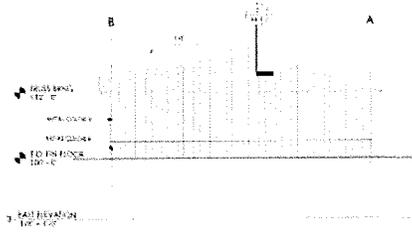
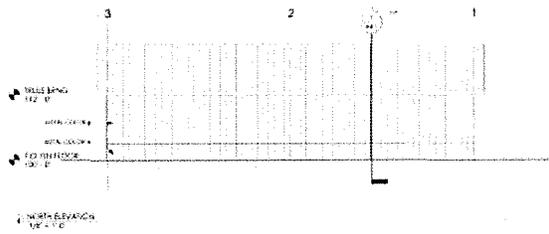
CLOQUET OFFICE BUILDING
 911 STANLEY AVE
 CLOQUET, MINNESOTA 55725

SCALE: XX/XX/XXX

PROJECT NO: 1942

REVISION: 1

DATE: 10/20/16
A3.0





ADMINISTRATIVE OFFICES

101 14th Street Cloquet, MN 55720-1903
Phone: 218.879.3347 Fax: 218.879.6555
www.cloquetmn.gov

REQUEST FOR COUNCIL ACTION

To: Mayor and City Council
From: James Barclay
Reviewed By: Tim Peterson, City Administrator *TP*
Date: March 17, 2020

ITEM DESCRIPTION: Library Relocation Expense

Proposed Action

Staff recommends that the City Council move to approve the attached relocation estimate from Wherley Moving Systems to move the existing book stacks and remaining furniture in the Library during time phased construction.

Background/Overview

Through the various stages of construction, staff and volunteers have been able to move furniture and materials into parking lot storage containers to allow for the integration of the library extension with the existing Library (Phase I). Construction has reached a point where renovations need to occur deeper into the existing Library (Phase II). Library staff, with the aide of volunteers, will move books from the stacks to facilitate the movement of the stacks into the completed segment of the existing Library (Phase I area). Once new carpet is laid in the Phase II area (April 8th) the moving company will return to reassemble the shelving in the new configuration. *Estimated Cost of Moving: \$7,775.00*

Policy Objectives

N/A

Financial/Budget/Grant Considerations

The City has a remaining \$53,742.43 in contingency funds. If approved the contingency funding would be reduced by \$7,775.00 leaving **\$45,967.43** for any future change orders deemed necessary.

Advisory Committee/Commission Action

None.

Supporting Documents Attached

- Whereley Moving Systems Relocation Estimate
- Phased Construction Map

WHERLEY MOVING SYSTEMS

4845 Miller Trunk Hwy, Duluth, MN 55811

218-727-8811

RELOCATION ESTIMATE

Shipper: City of Cloquet - library
Contact: James 218-879-3347
From: 320 14th St Cloquet, MN 55720 - move out
To: 320 14th St Cloquet, MN 55720 - move back in

Our estimated charges include: travel time, transportation from one location to the other, fuel surcharge and equipment charges. Our final charges will be based on actual hours and services.

Total estimated charges:

Dissemble & reassemble shelving X 2	
Move shelving out & in	\$ 6800.00
Deliver & pick up of equipment	\$ 175.00
Fuel Surcharge	\$ 200.00
Equipment Charges	\$ 600.00
	\$ 7775.00

Our valuation included in the move is \$.60/lb. per article. If you choose to take out replacement valuation that is an additional cost for \$18,530.00 of coverage (our minimum option based on your estimated weight). Those charges would be:

\$232.00 with a \$0.00 deductible
\$191.00 with a \$250.00 deductible
\$170.00 with a \$500.00 deductible

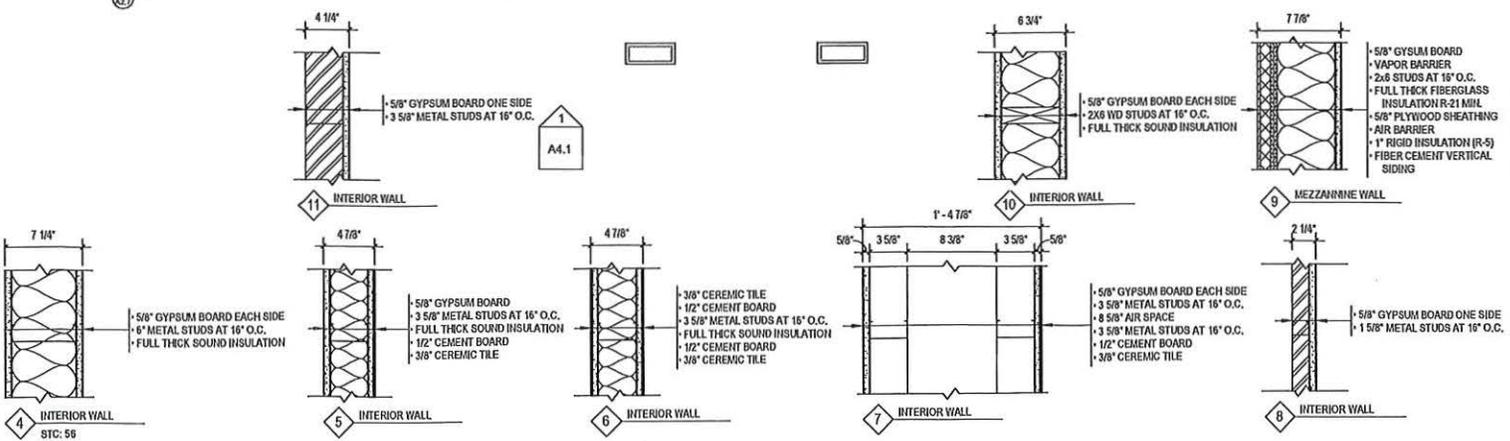
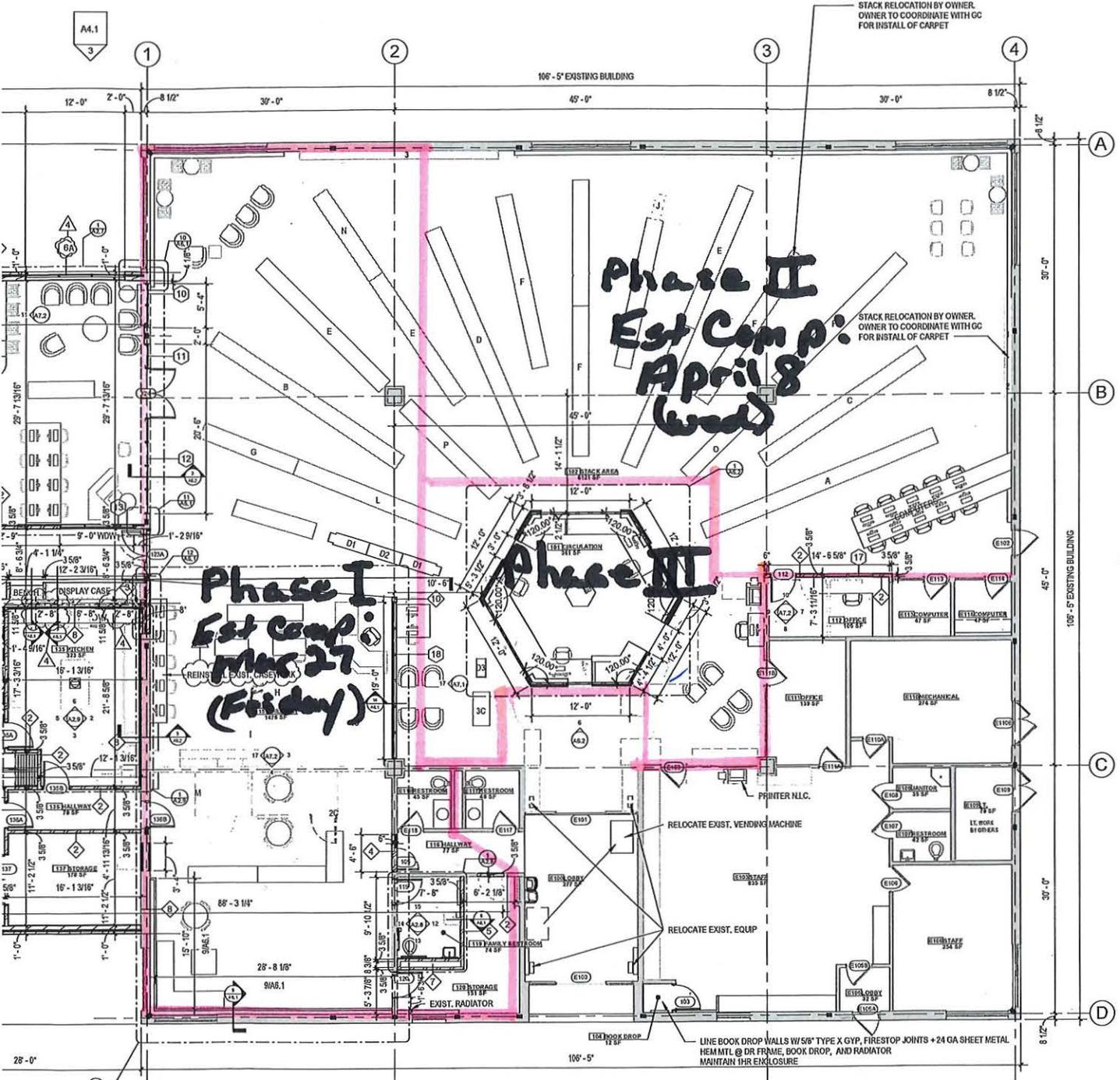
Your move is not scheduled until you confirm dates with us.

If you should have any questions or concerns please give our office a call or email us.

Thank you!

Molly Pennings molly@wherleyms.com

Tracy Peterson tracy@wherleyms.com



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COMMUNITY DEVELOPMENT DEPARTMENT
1307 Cloquet Avenue • Cloquet MN 55720
Phone: 218-879-2507 • Fax: 218-879-6555
www.ci.cloquet.mn.us

REQUEST FOR COUNCIL ACTION

To: Mayor and City Council
From: Al Cottingham, City Planner/Zoning Administrator
Reviewed/Approved By: Tim Peterson, City Administrator *TEP*
Date: March 11, 2020

ITEM DESCRIPTION: Zoning Case 20-02: Conditional Use Permit – Cellular Tower in the Mixed Residential/Commercial District

Proposed Action

The Planning Commission recommends the City Council move to adopt **RESOLUTION NO. 20-15, A RESOLUTION APPROVING THE CONDITIONAL USE PERMIT FOR AT&T MOBILITY/HALL INSTITUTE, INC. FOR A CELLULAR TOWER IN THE MRC – MIXED RESIDENTIAL/COMMERCIAL DISTRICT.**

Background/Overview

AT&T Mobility/Hall Institute, Inc. is proposing a conditional use permit to allow the construction of a 180 foot mono-pole cellular tower with antenna's not to exceed a total height of 184 feet. The property involved is located southeast of 14th Street and Interstate 35. The property is owned by Ulland Brothers, Inc.

The Ordinance requires a minimum of 500 feet separation between the tower and any residential structure and a minimum setback of 75 percent of the tower height (135 ft.) to the property lines. Access to the tower will be from 14th Street with the tower being approximately 620 feet northeast of the closest home on the west side of 14th Street and approximately 700 feet to the 14th Street Apartments.

A public hearing was held on Tuesday, March 10, 2020 to consider the conditional use permit for a cellular tower in the Mixed Residential/Commercial District. A legal notice was published in the Pine Knot on February 28, 2020 and property owners within 350 feet were sent notices of the public hearing.

Policy Objectives

The Zoning Ordinance states Conditional Use Permits may be granted when they comply with the following approval criteria: *(Staff comments in italic)*

- 1. Consistency with the Comprehensive Plan. The relationship of the proposed use to the goals, objectives, and policies of the City of Cloquet Comprehensive Plan.** *The proposed site is guided as Highway Commercial/Residential Mix.*

2. Compatibility. The compatibility of the proposed use with existing development within three hundred (300) feet of the proposed use and within five hundred (500) feet along the same street and development anticipated in the foreseeable future within the neighborhood and conditions that would make the use more compatible. *The land to the east is owned by Ulland Brothers and is a gravel pit. The land to the north is Interstate 35 and beyond that it is a wetland owned by the City. The land to the west is 14th Street and beyond that is a garage and two single family homes. The land to the south owned by the City and contains a disk golf course and Ulland Brothers for future gravel operations, beyond that are the 14th Street Apartments. The tower will be over 500 feet to the closest home.*

3. Importance of services to the community. The importance of the services provided by the proposed facility to the community, if any, and the requirements of the facility for certain locations, if any, and without undue inconvenience to the developer, and the availability of alternative locations equally suitable. *This really doesn't apply since it is a cellular tower but it does provide cellular service to those parties that have this as their service provider.*

4. Neighborhood protections. The sufficiency of terms and conditions proposed to protect and maintain the uses in the surrounding neighborhood. *The access to the site will be off 14th Street via the current secondary access into the Ulland Gravel operations. The tower will be a minimum of 500 feet from the homes on the west side of 14th Street and over 600 feet to the 14th Street Apartments.*

5. Conformance with other requirements of this Chapter. The conformance of the proposed development with all provisions of this Chapter. *The proposed location meets all of the requirements of the Zoning Ordinance.*

6. Other factor. Other factors pertinent to the proposed use, site conditions, or surrounding area considerations that the Planning Commission or the City Council feels are necessary for review in order to make an informed and just decision.

Financial/Budget/Grant Considerations

The Conditional Use Permit fee is \$400. The applicant has paid this fee to cover the cost associated with the application process.

Advisory Committee/Commission Action

The Planning Commission has recommended approval of the Conditional Use Permit subject to the conditions in the attached resolution on a 6 – 0 vote.

Supporting Documentation Attached

- Resolution No. 20-15
- Location Map
- Site Drawings

**CITY OF CLOQUET
COUNTY OF CARLTON
STATE OF MINNESOTA**

RESOLUTION NO. 20-15

**A RESOLUTION APPROVING THE CONDITIONAL USE PERMIT
FOR AT&T MOBILITY/HALL INSTITUTE INC. FOR A CELLULAR TOWER IN THE
MRC – MIXED RESIDENTIAL/COMMERCIAL DISTRICT**

WHEREAS, AT&T Mobility/Hall Institute, Inc. is proposing a Conditional Use Permit for a 180-foot mono-pole cellular tower in the MRC - Mixed Residential/Commercial District; and

WHEREAS, As required by ordinance, notification was advertised in the Pine Knot and property owners within 350 feet were sent notice. A public hearing was held to consider the application at the regular meeting of the Cloquet Planning Commission on March 10, 2020 at which time Zoning Case/Development Review No. 20-02 was heard and discussed; and

WHEREAS, , the property of the proposed Conditional Use Permit is located east of 14th Street and south of Interstate 35 and is legally described as follows:

The South One Half of the Southwest Quarter (S ½ of SW ¼), Section Twenty-five (25), Township Forty-nine (49) North, Range Seventeen (17) West of the Fourth Principal Meridian, Carlton County, Minnesota, except the following parcels:

- A. All that part of the Southwest Quarter of the Southwest Quarter (SW ¼ of SW ¼) lying northerly of the north right-of-way line of Interstate Highway No. 35.
- B. All of the Southwest Quarter of the Southwest Quarter (SW ¼ of SW ¼) lying southerly of the center line of Interstate Highway No. 35 and westerly of the centerline of Carlton County Highway No. 3.

All according to the U.S. Government Survey thereof. And,

WHEREAS, the Planning Commission reviewed the staff report and recommends approval of the Conditional Use Permit.

NOW, THEREFORE, BE IT RESOLVED, BY THE CITY COUNCIL OF THE CITY OF CLOQUET, MINNESOTA, that it approves Zoning Case 20-02 for AT&T Mobility/Hall Institute Inc. for a 180-foot mono-pole cellular tower in the MRC - Mixed Residential/Commercial District subject to the following conditions:

- 1. The maximum height of the tower and the attached antennas shall not exceed 185 feet.
- 2. The lease agreement must be finalized prior to the issuance of a building permit.
- 3. The tower shall not be artificially illuminated unless required by the FCC or FAA regulations.
- 4. If the tower is required to have flashing type lighting or illumination, the use of red flashing lights is required during the nighttime hours as opposed to white strobe lights unless otherwise federally mandated.
- 5. The security fence shall not exceed 8 feet in height.

PASSED BY THE CITY COUNCIL OF THE CITY OF CLOQUET THIS 17TH DAY OF MARCH 2020.

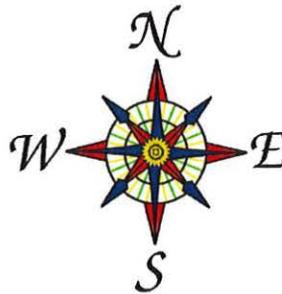
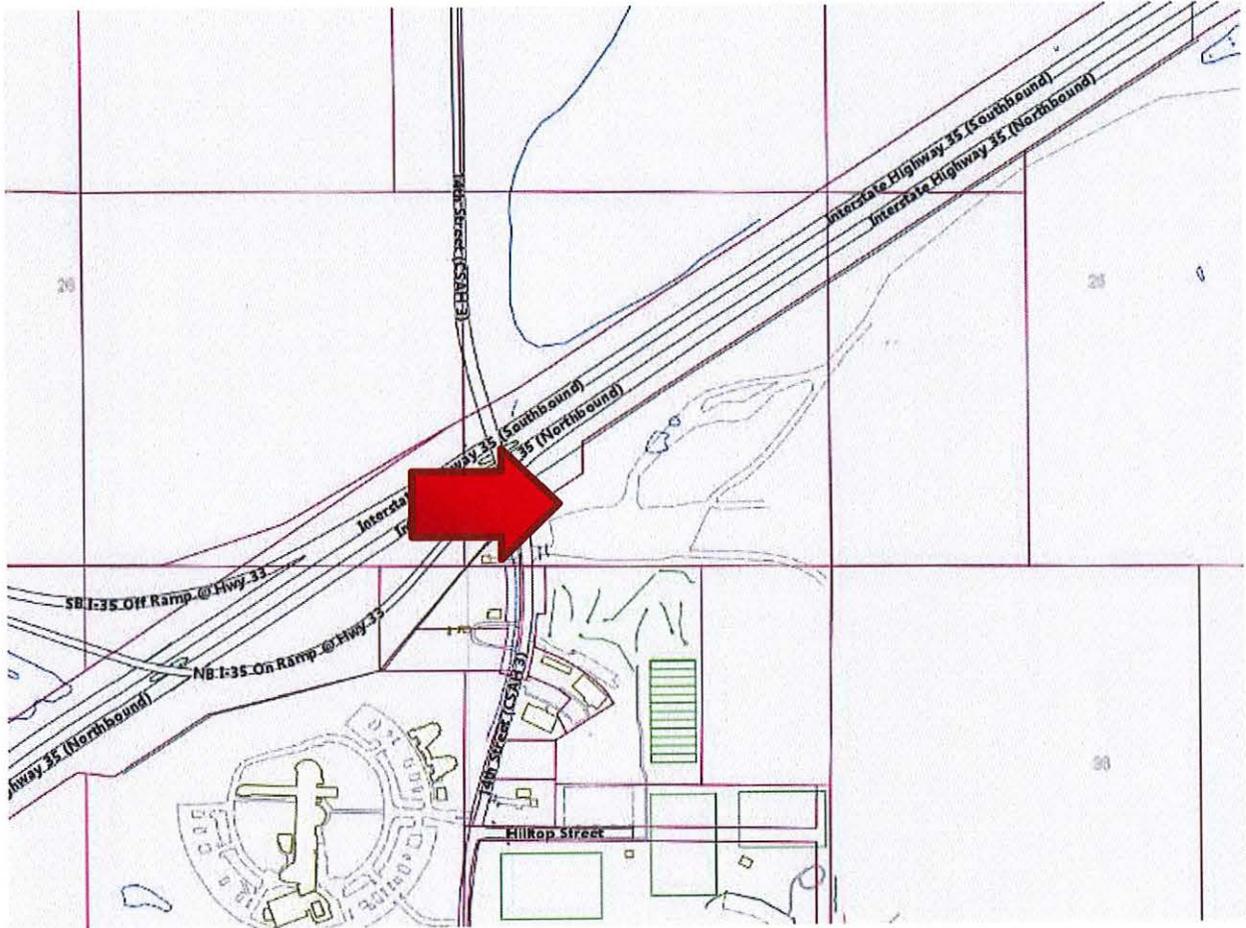
Roger Maki, Mayor

ATTEST:

Tim Peterson, City Administrator

Location Map

AT&T Mobility/Hall Institute Inc.



No Scale

Jason Hall
7365 Kirkwood Court North, Suite 320
Maple Grove, MN 55369
Office 763.315.5859
Mobile 612.670.0101
Fax 763.315.5860
jhall@hallinstitute.com

THE HALL INSTITUTE, INC.

To: City of Cloquet **From:** Jason Hall

Phone: **Date:** ~~4-18-20~~ 2-3-20

Re: Proposed Wireless Communications Facility – AT&T Mobility – SW Quarter of Sec 25, Twp 49, Range 17 **CC:** Ulland Brothers Inc

TRANSMITTAL NUMBER: 2020-014

Mr. Cottingham,

On behalf of AT&T Mobility ("AT&T"), enclosed is the completed CUP Application and \$400 check for a Proposed 180' Wireless Communications Facility ("Tower").

The subject location is located in the SE corner of Interstate 35 and County Road 3 (14th Street). The 18.38-acre property is owned by Ulland Brothers Inc. Parcel ID #05-510-5740.

The proposed Tower is a Dual-Purpose Wireless Communication Facility. It will be used for standard AT&T cell phone/voice/data/broadband communications and also for the new First Responder Network Authority (FirstNet) <https://firstnet.gov>

Tower will be built to allow for future colocation and meets all requirements in the City of Cloquet Zoning Ordinance, Chapter 17.5.16, including the performance standards set forth in Subd. 6 and conditional use standards in Subd. 7. This Tower will serve residents, businesses, visitors, first responders, school/community college, parks, and overall traffic on nearby City, Township, County and State/Interstate Roadways.

AT&T and Ulland Brothers Inc will be entering into a land lease agreement on the subject property. AT&T will be placing the Tower near the Western/Center of the property. No new roads are required for access, AT&T will be utilizing the existing gravel access driveway. The Tower is a Monopole design. Tower base will be surrounded by a fenced/secured compound, 6ft high fence with 3 strands of barb wire. Once constructed, the Tower is typically only visited 1x per month, for standard operational/maintenance. It will not create a traffic or noise problem. As part of the project/lease, AT&T has agreed to remove the Tower should it ever become obsolete or abandoned in future.

For this site, colocation on an existing Tower or Structure was not an option, because there are no existing Commercial Towers within a 1-mile search radius.

I have attached the following supporting documentation to the CUP Application:

- \$400.00 Check
- Conditional Use Permit Checklist – 1pg
- FirstNet Fact Sheet – 1pg
- Aerial Map (showing the proposed tower with red arrow) – 1pg
- Arial Parcel Map – 1pg
- Site Photos – 1pg
- Sample Monopole Photo – 1pg

- Photosimulations – 3pgs
- RF Propagation Maps – 4pgs
- Federal Airspace and Airways Report – 4pgs
- Rohn Design Criteria Memo – 50% Fall Zone – 1pg
- Parcel list within 350ft– 1pg
- 3 copies of Site Survey – 2pgs
- 3 copies of P.E. Signed Drawings – 5pgs

Please don't hesitate to contact me with any questions.

Thanks

Sincerely,



Jason Hall
Hall Institute Inc - AT&T Consultant
7365 Kirkwood Court N, Ste 320
Maple Grove MN 55369
Mobile: 612.670.0101
Email: jhall@hallinstitute.com

CC: AT&T, Ulland Bros Inc

Aerial Map showing Proposed Tower Location

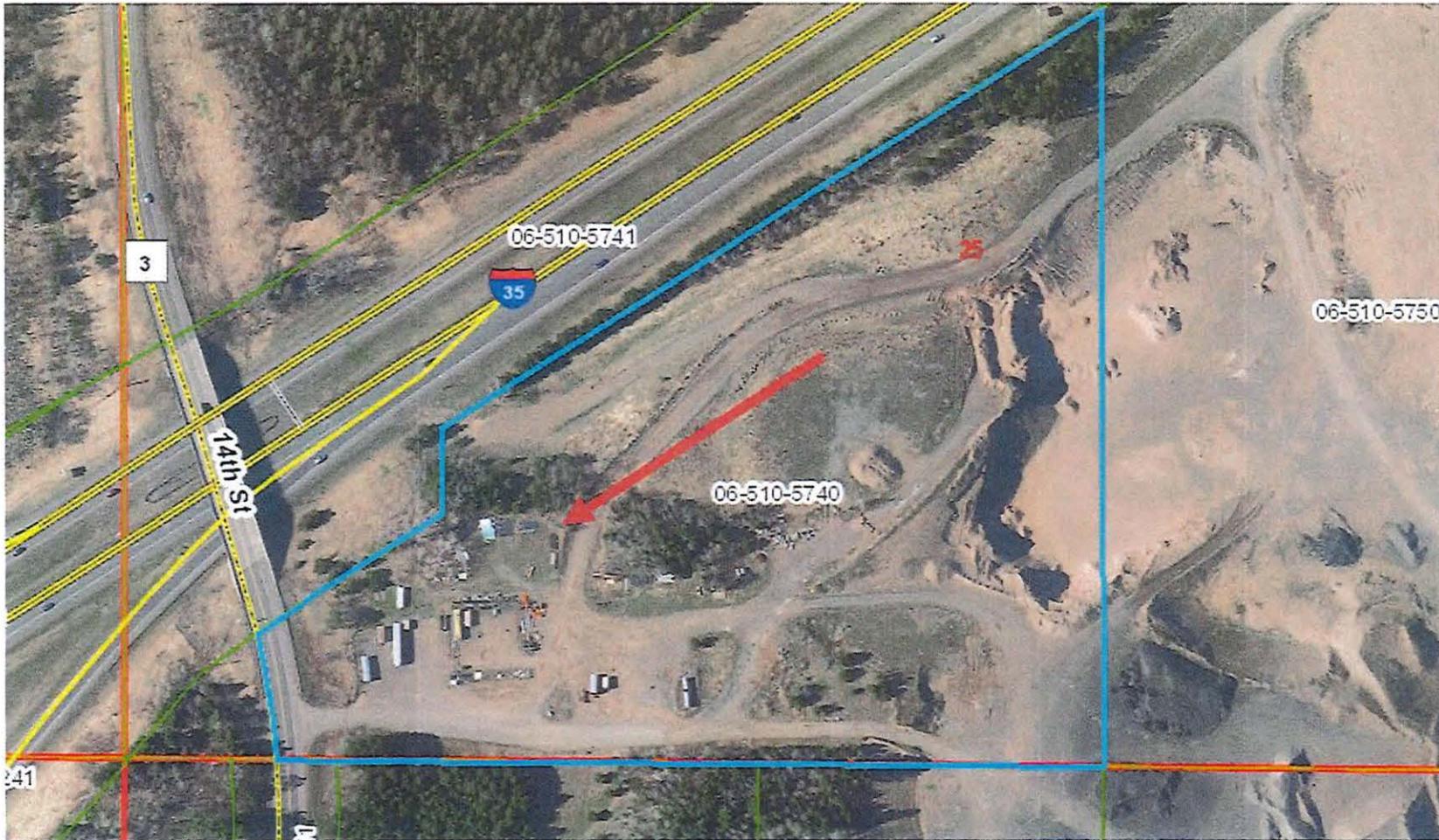




Photo of Proposed Tower Location



Photo of Existing Gravel Drive

Sample Monopole Photo





6718 W. Plank Road
Peoria, IL 61604 USA
Phone 309-697-4400
FAX 309-697-5612
Toll Free 800-727-ROHN

Memo on the Design Criteria for Communication Structures

Communication structures are designed in accordance with an American National Standard. The Standard is designated as ANSI-TIA-222. This Standard is based on the wind, ice and earthquake loading requirements from ASCE 7, "Minimum Design Loads for Buildings and Other Structures". The structural design of members is based on the AISC "Specification for Structural Steel Buildings". The requirements for loading and structural design are therefore very similar to those used for buildings and other conventional structures.

The magnitude of loadings and the member design criteria used for buildings and communication structures have been established based on a tremendous amount of research and experience. The use of these standards has resulted in safe structures that have performed well over many years. As with buildings, extreme events of loading have occurred that have resulted in damage to both communication structures and other conventional structures. The damage rarely results in the entire collapse of the building or communication structure.

Structures located adjacent to critical facilities or properties are often constructed using additional design criteria to influence the degree and type of damage that may occur in the case of an extreme loading condition. For example, stronger members may be placed in the lower half of a self-supporting latticed tower or thicker tubular sections may be used in the lower portions of a pole.

The failure under an extreme loading for self-supporting structures reinforced in this manner would be expected to occur in the upper half of the structure, preventing the total collapse of the structure. These types of failures would be expected to involve local member or component failures resulting in the upper half of the structure folding over the lower half as opposed to the upper half completely shearing off or separating from the structure.

For guyed masts, multiple guy anchors may be used along each guy radius. The multiple guy supports would be expected to contain a failure to a spiral buckling of the mast and contain the fall zone to approximately 50% of the mast height.

Additionally, structures in critical locations are often classified as Essential Facilities. The design standards mentioned above require more stringent loading requirements for these structures compared to conventional structures. For example, Essential Facilities are designed for wind speeds that have a probability of occurrence less than half the probability of occurrence associated with conventional buildings and structures.

ROHN has assisted many owners with the development of their design requirements based on unique site-specific considerations. Please contact us for any questions or additional information.

ROHN Products, LLC
6718 W. Plank Road
Peoria, IL 61604
309-697-4400
www.rohnnet.com

SITE PHOTO



PROJECT INFORMATION

SITE ADDRESS: SE CORNER OF 14TH ST AND I-35
CLOQUET, MN 55720

COUNTY: CARLTON

SITE NAME: CLOQUET UNIVERSITY

AT&T SITE ID: MNL05453

FA NUMBER: 12582862

PACE NUMBER: MRUMW023110

PTN NUMBER: 3514A0EW34

USD NUMBER: 209991

LATITUDE (NAD 83): 48° 41'35.45" N
48.69318°

LONGITUDE (NAD 83): 92° 28'48.59" W
-92.44603°

GROUND ELEVATION: 1265.5' A.M.S.L.

ZONING DISTRICT: CITY OF CLOQUET

TOWER OWNER: AT&T

LANDLORD CONTACT: TIM CRANEK
TIM@CLOQUETUNIVERSITY.COM
(218) 856-3522

GROUND OWNER: ULLAND BROS

OCCUPANCY GROUP: U

CONSTRUCTION TYPE: I-B

AT&T PROJECT MANAGER: TOM HANLIN
(218) 454-0311
TH0224@ATT.COM

BAV SITE ACQUISITION MANAGER: KATE HUNTER
(812) 226-7756
KHUNTER@BIV.COM

BAV CONSTRUCTION MANAGER: MITCH LONNIE
(652) 896-0880
LONNIE@DOYERLANDCONTRACTING.COM

BAV LEAD ENGINEER: CASEY TUDRINA
(952) 896-0242
TUDRINA@BIV.COM

**AT&T
MOBILITY
PROJECT: NSB
AT&T SITE ID: MNL05453
FA#: 12582862
PACE#: MRUMW023110
PTN#: 3514A0EW34**

**CLOQUET UNIVERSITY
CLOQUET, MN 55720**

AREA MAP

VICINITY MAP



LOCAL MAP



DRIVING DIRECTIONS

DIRECTIONS FROM AT&T OFFICE:
FOLLOW I-35W N AND I-35 N TO MN-210 E IN TWIN LAKES TOWNSHIP. TAKE EXIT 235 FROM I-35 N
1 H 55 MIN (131 MI). TAKE HALVORSON RD TO 14TH ST IN CLOQUET 6 MIN (3.2 MI). SITE IS LOCATED ON RIGHT JUST BEFORE
BRIDGE OVER I-35.

ENGINEERING

2012 INTERNATIONAL BUILDING CODE
2017 NATIONAL ELECTRIC CODE
2015 MINNESOTA BUILDING CODE
TIA/EIA-222-G OR LATEST EDITION

REFERENCE MATERIALS

THESE LITE DRAWINGS ARE BASED ON AT&T SCOPING DOCUMENT DATED 10/10/18.
CONTRACTOR SHALL USE THE LATEST VERSION OF THE RFDS WITH THE CONSTRUCTION
DRAWINGS PER THE SCOPE OF WORK.

DRAWING INDEX

SHEET NO:	SHEET TITLE
COVER	TITLE SHEET
Z-1	OVERALL SITE PLAN
Z-2	COMPOUND PLAN
Z-3	MIC PLATFORM WITH GENERATOR
Z-4	TOWER ELEVATION

11"x17" PLOT WILL BE HALF SCALE UNLESS OTHERWISE NOTED



TO OBTAIN LOCATION OF PARTICIPANTS UNDERGROUND
FACILITIES BEFORE YOU DIG IN MINNESOTA, CALL
GOPHER STATE ONE CALL
TOLL FREE: 1-800-252-1165 OR
FAX A LOCATE: 1-800-236-4967
MIN STATE REQUIRES 48 HOURS NOTICE BEFORE YOU LOCATE



THESE PLANS CONFORM TO ALL OF THE REQUIREMENTS CALLED OUT IN THE JURISDICTION
PLANNING AND ZONING FOR ANTENNAS AND SUPPORT STRUCTURES WHERE SITE IS LOCATED.
SUBCONTRACTOR SHALL VERIFY ALL PLANS AND DISTING CONDITIONS ON SITE. IMMEDIATELY
NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PERFORMING ANY WORK OR BE RESPONSIBLE
FOR THE SAME.

**AT&T
MOBILITY**

7900 XERXES AVE S
3RD FLOOR
BLOOMINGTON MN 55431



BLACK & VEATCH

BLACK & VEATCH CORPORATION
7760 FRANCE AVENUE SOUTH
SUITE 1200
BLOOMINGTON, MN 55435

PROJECT NO: 4142
DRAWN BY: ADS
CHECKED BY: JAT

REV	DATE	DESCRIPTION
0	10/07/18	ISSUED FOR ZONING

I HEREBY CERTIFY THAT THIS PLAN,
SPECIFICATION, OR REPORT WAS
PREPARED BY ME OR UNDER MY
DIRECT SUPERVISION AND THAT I
AM A DULY LICENSED PROFESSIONAL
ENGINEER UNDER THE LAWS OF THE
STATE OF MINNESOTA.

PRINT NAME: ROBLEY A. EVANS

SIGNATURE: *[Signature]*

DATE: 01/14/2018 LICENSE#: 43119
EXP. 6/20

IF IS A VIOLATION OF LAW FOR ANY PERSON,
UNLESS THEY ARE ACTING UNDER THE DIRECTION
OF A LICENSED PROFESSIONAL ENGINEER,
TO ALTER THIS DOCUMENT.

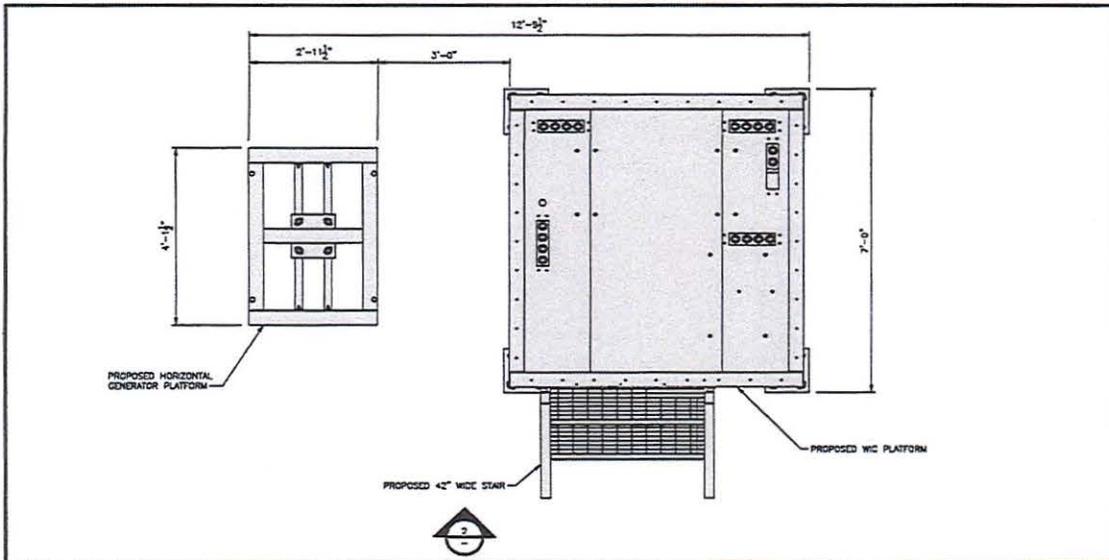
**CLOQUET UNIVERSITY
MNL05453
SE CORNER OF 14TH ST AND I-35
CLOQUET, MN 55720
NSB**

SHEET TITLE

TITLE SHEET

SHEET NUMBER

COVER

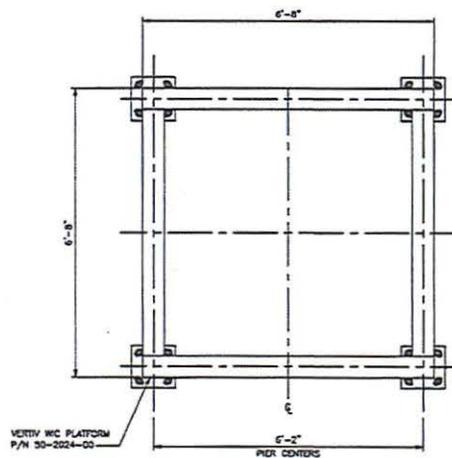


WIC PLATFORM LAYOUT PLAN

NO SCALE

1

- NOTE:
1. DRAWINGS ARE FOR GRAPHIC REPRESENTATION OF THE FINAL ASSEMBLY. CONTRACTOR MUST REFERENCE MANUFACTURER'S DRAWINGS PRIOR TO CONSTRUCTION.
 2. PLATFORM SHOWN IS FOR THE VERTIV WALK-IN-CABINET P/N F2016017-P-FORM-FE (FULLY ASSEMBLED) OR F2016019-P-FORM-PC (BUILD ON SITE)



VERTIV WIC PLATFORM
P/N 30-2024-00

WIC PLATFORM PLAN

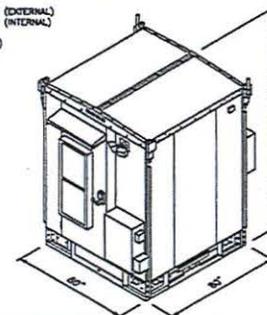
NO SCALE

3

VERTIV - XTE 801, 6'x6' WALK IN CABINET (WIC)

DIMENSIONS, HWING: 113.0"x80.0"x80.0" (EXTERNAL)
105.0"x72.0"x72.0" (INTERNAL)

WEIGHT: -4000 lbs (EMPTY)
-7000 lbs (FULL)

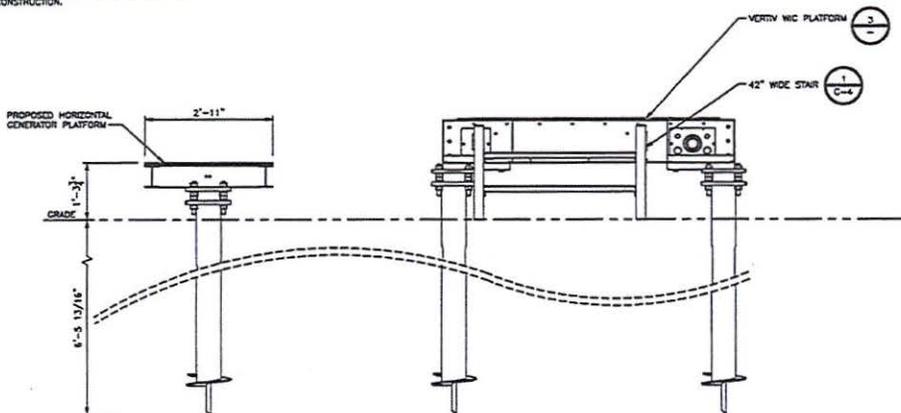


WIC CABINET DETAIL

NO SCALE

4

- NOTE:
1. DRAWINGS ARE FOR GRAPHIC REPRESENTATION OF THE FINAL ASSEMBLY. CONTRACTOR MUST REFERENCE MANUFACTURER'S DRAWINGS PRIOR TO CONSTRUCTION.



WIC PLATFORM ELEVATION

NO SCALE

2

AT&T
MOBILITY

7900 XERXES AVE S
3RD FLOOR
BLOOMINGTON MN 55431



BLACK & VEATCH

BLACK & VEATCH CORPORATION
7700 FRANCE AVENUE SOUTH
SUITE 1200
BLOOMINGTON, MN 55435

PROJECT NO: 4142
DRAWN BY: ADS
CHECKED BY: JAT

REV	DATE	DESCRIPTION
1	10/27/19	ISSUED FOR BIDDING

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

PRINT NAME: ROBLEY A. EVANS

SIGNATURE: *Robley A. Evans*

DATE: 2/14/2019 LICENSE #: 43119
EXP. 6/20

IF IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS THEY ARE ACTING UNDER THE DIRECTION OF A LICENSED PROFESSIONAL ENGINEER, TO ALTER THIS DOCUMENT.

CLOUQUET UNIVERSITY
MNL05453
SE CORNER OF 14TH ST AND I-35
CLOUQUET, MN 55720
NSB

SHEET TITLE
WIC PLATFORM
W/GENERATOR

SHEET NUMBER

Z-3



DEPARTMENT OF PUBLIC WORKS

101 14th Street; Cloquet, MN 55720
Phone: (218) 879-6758 Fax: (218) 879-6555
Street - Water - Sewer – Engineering - Park
www.cloquetmn.gov

REQUEST FOR COUNCIL ACTION

To: Mayor and City Council
From: Caleb Peterson, Public Works Director
Reviewed By: Tim Peterson, City Administrator *TCP*
Date: March 17, 2020

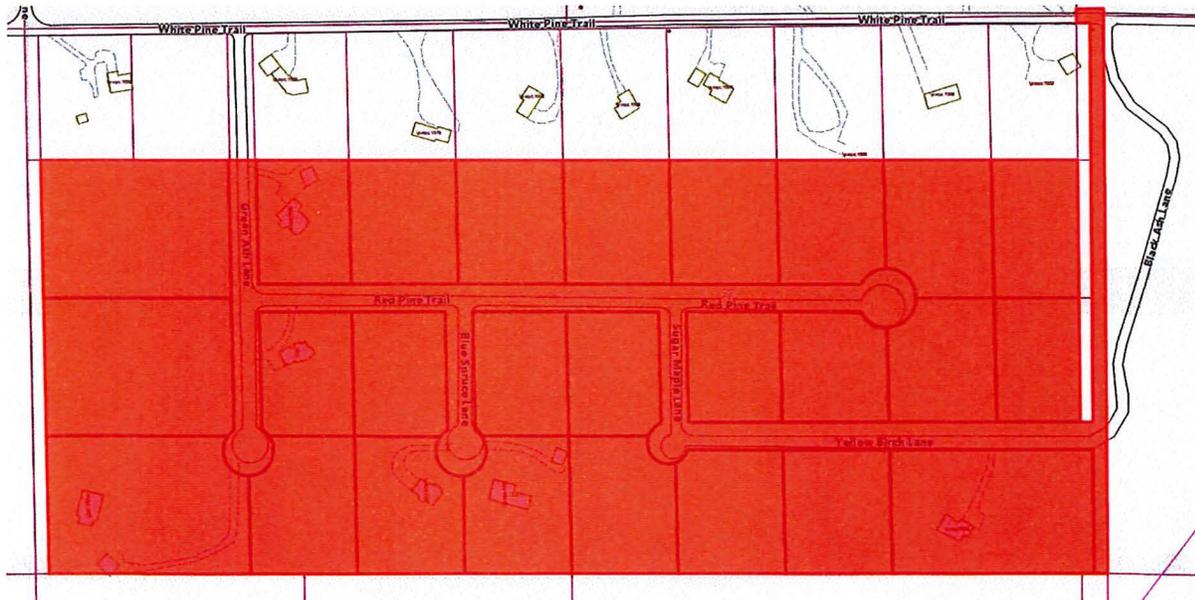
ITEM DESCRIPTION: Petition for Paving of Jolicouer Trails First Addition

Proposed Action

Staff recommends that the City Council move to **ADOPT RESOLUTION NO. 20-18, A RESOLUTION ORDERING A FEASIBILITY STUDY REGARDING THE PAVING OF JOLICOUER TRAILS FIRST ADDITION.**

Background/Overview

Jolicouer Trails First Addition was platted in 2003. This Subdivision is located south of White Pine Trail and features large (over one acre) lots for single family homes to be served by private wells and septic systems. Approximately 6 of the 27 platted lots currently contain homes, some lots have sold with no development to date and about half remain developer owned. A map of the area is included below:



The City has received a petition (signed by 5 owners representing 20 properties) requesting the consideration of paving streets in this subdivision. Per Chapter 12 of City Code, a portion of the costs associated with such an improvement would be assessed back to benefiting properties. The existing streets consist of a graded gravel surface with some minimal ditching and culverts to handle drainage. These initial improvements were installed by the Developer and Council has historically withheld consideration of further improvements until a petition is received by impacted residents.

Before paving of the existing roads is considered, staff needs to evaluate the drainage as past maintenance history indicates a few problem areas which should be addressed. There is also some legal work along the east boundary which needs to occur as Black Ash Lane was constructed outside of the platted ROW on property which the City currently owns by fee title. It may not be feasible to move the existing roadway but Lot 8 of Block 2 does not conform to City Code as it has no legal access to a public street. Staff recommends further study of both these issues before any improvements are considered in this area.

Per City Code, the next step in this request is for Council to order the preparation of a feasibility study. Staff will prepare the document over the coming months and bring it back to Council for further consideration. If the project moves forward, a public hearing with any property owners proposed to be assessed is required.

Policy Objectives

N/A

Financial/Budget/Grant Considerations

Staff will prepare construction cost estimates and a preliminary assessment roll as part of the feasibility study. Afterwards, Council will need to provide feedback as to how they wish to proceed. The only budget consideration at this time is the staff time required to prepare the report. It is estimated this would take about 120 hours over the coming months and would be worked on as time allows between currently scheduled projects. Should Council wish to pursue paving, the City's share of the cost would need to be included in a future year's budget.

Advisory Committee/Commission Action

N/A.

Supporting Documents Attached

- Resolution 20-18
- Property Owner Petition

**CITY OF CLOQUET
COUNTY OF CARLTON
STATE OF MINNESOTA**

RESOLUTION NO. 20-18

**A RESOLUTION ORDERING A FEASIBILITY STUDY REGARDING THE
PAVING OF JOLICOUER TRAILS FIRST ADDITION**

WHEREAS, the City of Cloquet has received a petition from benefiting property owner requesting the City Council consider paving of existing streets within Jolicouer Trails First Addition; and

WHEREAS, City Code requires a portion of the cost of such improvements be assessed to benefiting properties; and

WHEREAS, Statute requires the preparation of a feasibility study by a licensed engineer in order to levy special assessments of this manner.

NOW, THEREFORE, BE IT RESOLVED, BY THE CITY COUNCIL OF THE CITY OF CLOQUET, MINNESOTA, that the City Engineer is hereby directed to prepare a feasibility study regarding the paving of Jolicouer Trails First Addition.

**PASSED AND ADOPTED BY THE CITY COUNCIL OF THE CITY OF CLOQUET THIS 17th
DAY OF MARCH 2020.**

Roger Maki, Mayor

ATTEST:

Tim Peterson, City Administrator

Jolicouer Trails, Inc.
MEMO

Greg Peter Hallback
903 Carlton Avenue
Cloquet, MN 55720
(701) 936-9548

DATE: February 25, 2020
TO: Mr. Caleb Peterson, Director of Public Works, City of Cloquet
RE: Paving Jolicouer Trails First Addition Development
MEMO: Hello Caleb,

Chris Roningen, president of Jolicouer Trails, Inc., and I finally got around to taking the next step in paving the streets of our Jolicouer Trails First Addition development. What I am dropping off is this memo and a petition to the Mayor and City Council signed by the property owners for the paving of the streets.

In brief I understand you will review this petition and formally submit it to the Mayor and City Council. I further understand you will request the City Council to approve a feasibility study by your office to analyze the physical details and projected costs. Eventually the property owners would be notified of a public hearing. If the Council finds that hearing to be positive, the project will be let out for bids by your office, scheduled for construction, and financed.

On June 13th I went door to door explaining the concept of paving the streets to the home owners and how the process would proceed. Every property owner, except one, enthusiastically approved of the idea – even after the costs were noted. Tentative costs were estimated at \$6,250 for a typical lot, with that number going up or down depending on the economy, the price of materials, etc. And, this could be paid as a one time lump sum or financed through the County at about 2 ½%/annum over ten years. The only property owner to not sign was not negative and would not protest the project; it was just that he didn't mind unpaved streets. All other property owners expressed 'sooner the better.'

The sold lots that were not built on were not approached. Although, we have verbal approvals from some and could have their signatures to you if need be.

Of the 27 lots of Jolicouer Trails First Addition the petition has 20 signed for. The paving would include small portions of the original Jolicouer Trails development, i.e., Block 1, Lot 2, Block 2, Lot 1, and Block 2, Lot 8. Chris Roningen owns Block 1, Lot 2, so that is a nonissue, and the owners of the two

other lots have already approved of paving White Pine Trail, so they would probably approve of this paving proposition.

If the paving project moves ahead, we will gladly meet with you to attend to the details of Outlots A, B, and C at the eastern edge of the development in relation to the existing road and the City property to the east. Please let me know if there is anything else I can do for you. We look forward to hearing from you.

Thanks for your time,

Greg Hallback
Jolicouer Trails, Inc.
cc; on file
attached; Petition to the Mayor and City Council

PETITION

To the Mayor and City Council
Cloquet, Minnesota 55720

We, the undersigned, owners of property along Green Ash Lane, Red Pine Trail, Blue Spruce Lane, Sugar Maple Lane, Yellow Birch Lane and Black Ash Lane hereby petition the City Of Cloquet to consider the paving of these gravel streets pursuant to Minnesota Statutes, Chapter 429.

It is our understanding that prior to final approval, a feasibility study on the proposed project will be completed and all affected property owners will be advised as to those costs that will be assessed back to them, as a result.

NAME	DATE	ADDRESS
<u>Timothy D. Mills</u>	<u>6/13/19</u>	<u>1437 Blue Spruce Lane</u>
<u>Steve Kjl</u>	<u>6/13/19</u>	<u>1436 BLUE SPROUCE LN</u>
<u>Muu Nur</u>	<u>10/13/19</u>	<u>1437 Green Ash Lane</u>
<u>Shawn Kaucerig</u>	<u>6/13/19</u>	<u>1428 GREEN ASH LANE</u>
<u>Ch H P</u>	<u>2/24/20</u>	<u>BLOCK 1 LOT 1</u>
<u>Ch H P</u>	<u>2/24/20</u>	<u>BLOCK 1 LOT 2</u>
<u>Ch H P</u>	<u>2/24/20</u>	<u>BLOCK 1 LOT 6</u>
<u>Ch H P</u>	<u>2/24/20</u>	<u>BLOCK 1 LOT 9</u>
<u>Ch H P</u>	<u>2/24/20</u>	<u>BLOCK 1 LOT 10</u>
<u>Ch H P</u>	<u>2/24/20</u>	<u>BLOCK 1 LOT 11</u>
<u>Ch H P</u>	<u>2/24/20</u>	<u>BLOCK 2 LOT 2</u>

W.H.M. 2/24/20

BLOCK 2, LOT 3

W.H.M. 2/24/20

BLOCK 2, LOT 4

W.H.M. 2/24/20

BLOCK 2, LOT 5

W.H.M. 2/24/20

BLOCK 2, LOT 6

W.H.M. 2/24/20

BLOCK 2, LOT 7

W.H.M. 2/24/20

BLOCK 2, LOT 8

W.H.M. 2/24/20

BLOCK 2, LOT 9

W.H.M. 2/24/20

BLOCK 2, LOT 10

W.H.M. 2/24/20

BLOCK 2, LOT 12

Blank lined area for additional entries.

Blank lined area for additional entries.



DEPARTMENT OF PUBLIC WORKS

101 14th Street; Cloquet, MN 55720
Phone: (218) 879-6758 Fax: (218) 879-6555
Street - Water - Sewer – Engineering - Park
www.cloquetmn.gov

REQUEST FOR COUNCIL ACTION

To: City Council
From: Caleb Peterson, Public Works Director
Reviewed By: Tim Peterson, City Administrator *TCP*
Date: March 17, 2020

ITEM DESCRIPTION: Water Treatment Plant - Change Order No. 3

Proposed Action

Staff recommends that the City Council move to approve Change Order No. 3 to the water treatment plant construction contract.

Background/Overview

Work is nearly complete to construct Water Treatment Plant No. 1 at the City Garage site. Once authorized, the cost of work is typically determined using a unit price or allowance submitted by the lowest responsible bidder for each work item in a contract. Sometimes during construction, unforeseen conditions arise which force us to alter the scope of work. When a unit price for the extra work is not included in the original contract, a price must be negotiated with the contractor amending the original contract. The recommended changes are then brought to Council for authorization in the form of a change order.

The City's consulting engineer for this project (Short Elliot Hendrickson) has reviewed this change order and found it to be necessary and reasonable. Items PR-14, 15 and 16 are related to unknown underground conditions which resulted in extra materials and labor for the Contractor. PR-17 was a required modification due to a conflict in mounting the code required outdoor lighting. The most cost-effective option is represented including a different fixture spec along with blocking and flashing to create a flush mount with the siding.

PR-13 is related to an ongoing operational issue with automation of the filter backwash process. Every few days the individual filter beds must be backwashed (flushed with reverse flow) in order to remove manganese deposits collected during the treatment process. This process should be automated at a set schedule based on filter loading. Unfortunately, we have found the water system pressure at this location provides too much flow for the required backwash rates resulting in a condition known as cavitation. The valve brackets are the first of two pieces of additional hardware necessary to properly automate this function without cavitation. Staff does anticipate one more change order will be required to add a pressure reducing valve. With 97% of the contract complete no other known issues are outstanding.

Policy Objectives

N/A

Financial/Budget/Grant Considerations

The original contract price for this project was \$6,629,120.00 and the total of Change Order #3, will increase this amount by \$7,392.24 or 0.1%. All projects of this size and complexity are expected to incur some changes. With approximately 97% of contract paid to date, a total contract amendment of 0.5% indicates construction is going extremely well and the design plans and specifications have been impressively comprehensive to date.

The City was awarded a Drinking Water Revolving Fund Loan from the Minnesota Department of Health to fund this project.

Advisory Committee/Commission Action

None

Supporting Documents Attached

- Change Order No. 3



Owner: City of Cloquet, 1307 Cloquet Ave, Cloquet, MN 55720	Date: 02/28/20
Contractor: Magney Construction Inc., 1401 Park Rd, Chanhassen, MN 55317	
Bond Company: Fidelity and Deposit Company of Maryland, 1299 Zurich Way, Schaumburg, IL 6196-1056	

CHANGE ORDER NO. 3
Water Treatment Plant No. 1
Cloquet, Minnesota

Description of Work

The following items are deemed to be necessary to complete the project according to the intended design. In accordance with the terms of this Contract, the Contractor is hereby authorized and instructed to perform the work as altered by the following provisions.

Ref. No.	Item	Unit	Contract Quantity	Unit Price	Total Amount
PR-13	Adjustable Backwash Valve Brackets Change from standard valve brackets to adjustable valve brackets that allow the valves' open position to be set at a desired flow rate.				\$1,334.00
PR-14	4 Inch Force Main Locate Additional time and labor was required to locate the 4-inch force main in the hockey center's parking lot, due to the pipe being 15' away from the locate. Magney agreed to split the cost of the additional work with the City.				\$956.20
PR-15	Add'l Excavation Depth at Hockey Rink Service Additional time and labor required due to the existing service being at a depth of 20', rather than the 8' depth assumed during design. Magney agreed to split the cost of the additional work with the City.				\$1,393.98
PR-16	Water Main Connection Size Additional time and labor required due to connect to the existing water main at the SE corner of the Old Hockey Shelter, which was a 10" pipe instead of 6" as assumed during design.				\$660.56
PR-17	Exterior Light Modifications Additional cost to install wood blocking and flashing for new WTP exterior lights.				\$3,047.50
	Original Contract Amount				\$6,629,120.00
	Previous Change Orders				\$27,257.23
	This Change Order				\$7,392.24
	Revised Contract Amount (including this change order)				\$6,663,769.47

CHANGE IN CONTRACT TIME

The Contract completion date is not adjusted as a result of the items included in Change Order No. 3.

Recommended for Approval by:
 SHORP ELLIOTT HENDRICKSON, INC.

Kevin Young

 Approved by Owner:
 CITY OF CLOQUET

03/10/2020

 Date

Approved by Contractor:
 MAGNEY CONSTRUCTION, INC.

Peter Cassidy

3-9-20

 Date

cc: City of Cloquet
 Magney Construction, Inc.
 Fidelity and Deposit Company of Maryland
 SEH, Inc.