



**Regular Meeting of the Planning Commission**

Wednesday, August 10, 2022

7 pm Regular Meeting

101 14<sup>th</sup> Street, Cloquet, MN 55720

**AGENDA**

1. Call to Order
2. Roll Call
3. Additions/Changes to the Agenda
4. Minutes from the July 26, 2022, Planning Commission meeting
5. Zoning Case 19-17; James Kuklis, Preliminary Plat and Variance \_\_\_\_\_
6. Zoning Case 22-08; Miner's Incorporated, Site Plan and Variance \_\_\_\_\_
7. Zoning Case 22-09; Pru Properties LLC, Land Use Guide Plan Amendment and Rezoning \_\_\_\_\_
8. Commissioner's Questions/Comments \_\_\_\_\_
9. Adjourn

**NEXT MEETING:**

**September 13<sup>th</sup> @ 7 pm**



**Regular Meeting of the Planning Commission**

Tuesday, July 26, 2022

7:00 p.m.

101 14<sup>th</sup> Street, Cloquet, MN 55720

**CALL TO ORDER**

Chairman Wilkinson called the meeting to order at 7:00 p.m.

**ROLL CALL**

**Attending:** Planning Commission members: Terri Lyytinen, Uriah Wilkinson, Elizabeth Polling, Mark Cline and Philip Demers; City: Al Cottingham.

**Absent:** None.

**Others Present:** Eric Lagergren (DSGW), Ben Hatfield (HDC) and Tony Nguyen.

**AGENDA ITEMS**

**Additions/Changes to the Agenda**

None.

**June 14, 2022, Meeting Minutes**

Chairman Wilkinson asked for any corrections or additions.

**Motion:** Commissioner Cline made a motion to approve the Planning Commission meeting minutes from June 14, 2022, Commissioner Lyytinen seconded. (Motion was approved 5-0).

**Zoning Case 22-06: Human Development Center, Variances and Conditional Use Permit**

Chairman Wilkinson introduced Zoning Case 22-06, Variances and Conditional Use Permit for the Human Development Center and opened the public hearing. He asked Mr. Cottingham to provide an overview. Mr. Cottingham stated the Human Development Center was proposing variances and a conditional use permit. The variances were for the front yard setback, the maximum building coverage, the maximum impervious coverage, and the minimum required off-street parking. The conditional use permit is for offices in the R3 – Multiple-Family Residence District. This is a public hearing, and a legal notice was published in the Pine Knot on July 15<sup>th</sup> and property owners within 350 feet were notified. He referenced the email received from Steve and Linda Clark and their concerns with parking on the street and difficulties getting in and out of their property at times. Representatives from DSGW and the Human Development Center were present to answer any questions.

MR. Ben Hatfield, HDC stated they are a mental health clinic with 41 employees and approximately 41,000 visits per year. They have look for other locations to meet their needs and



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have not been able to find a space to move to. Staff would park in the city lot to the north versus now they just park on the street.

Commissioner Polling inquired where the clients were from.

Mr. Hatfield stated approximately 80 percent were from the Cloquet area.

Commissioner Polling inquired as to how the clients arrived at the site.

Mr. Hatfield stated approximately 50 percent did not drive and either walked, took the bus or had someone drop them off.

Commissioner Demers inquired where people would park.

Mr. Hatfield stated that staff would park in the city lot and they would ask clients to also park there if they drove themselves or on the street.

The Commission reviewed the variance criteria to be sure the criteria was met.

There being no further discussion Chairman Wilkinson closed the public hearing and called for a motion.

**Motion:** Commissioner Lyytinen made a motion to approve the variances for the Human Development Center for Professional Offices in the Multiple-Family Residence District, Commissioner Cline seconded. (Motion passed 4-1, Demers)

**Motion:** Commissioner Lyytinen made a motion to recommending the City Council approve the Conditional Use Permit for the Human Development Center for a Professional Office in the Multiple-Family Residence District, Commissioner Polling seconded. (Motion passed 4-1, Demers)

Mr. Cottingham noted this was a recommendation to the City Council and that it would be on their agenda on next Tuesday, August 2<sup>nd</sup> at 6:00 pm.

**Zoning Case 22-07: Tony Nguyen, Variance and Conditional Use Permit**

Chairman Wilkinson introduced Zoning Case 22-07, Variance and Conditional Use Permit for Tony Nguyen and opened the public hearing. He asked Mr. Cottingham to provide an overview. Mr. Cottingham stated Tony Nguyen is proposing a variance and conditional use permit. The variance is to allow more than one principal structure on the property and the conditional use permit is for multiple-family in the RC – Regional Commercial District. This is a public hearing, and a legal notice was published in the Pine Knot on July 15<sup>th</sup> and property owners within 350 feet were notified. Mr. Nguyen was present to answer any questions.



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The Commission discussed the density and the remodeling of the former carwash. They also reviewed the variance criteria to be sure it was met.

There being no further discussion Chairman Wilkinson closed the public hearing and called for a motion.

**Motion:** Commissioner Cline made a motion to approve the variance for Tony Nguyen for more than one principal structure on a parcel in the Regional Commercial District, Commissioner Demers seconded. (Motion passed 5-0)

**Motion:** Commissioner Lyytinen made a motion to recommending the City Council approve the Conditional Use Permit for Tony Nguyen for four additional apartments in the Regional Commercial District, Commissioner Cline seconded. (Motion passed 5-0)

**Commissioner's Questions/Comment**

None

**Next Meeting**

August 10, 2022

Meeting adjourned 7:35 p.m.

Respectfully submitted,

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Al Cottingham, City Planner/Zoning Administrator



**Community Development Department**

101 14<sup>th</sup> Street • Cloquet MN 55720  
Phone: 218-879-2507 • Fax: 218-879-6555

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To: Planning Commission  
From: Al Cottingham, City Planner/Zoning Administrator  
Date: August 3, 2022

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**ITEM DESCRIPTION: ZONING CASE 19-17: VARIANCE AND PRELIMINARY PLAT FOR JAMES KUKLIS FOR TRAILS EDGE SECOND ADDITION**

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**Background**

James Kuklis is proposing a variance and preliminary plat for Trails Edge Second Addition. The property is located southeast of 18<sup>th</sup> Street and Trail Drive.

In 2003 Mr. Kuklis received approval of a planned unit development for this property of which Trails Edge was developed with 16 – two-family dwellings and an outlot for future development. In 2019 Mr. Kuklis had the wetlands for this site delineated and the boundaries and types were approved by the Technical Advisory Panel (TEP). The TEP discussed the filling of a portion of the wetlands for the development and felt that they should be able to do the development with some minor impacts to the wetlands that would be allowed under the De minimis Exemption.

The variance is from the subdivision code and the requirement to install a sidewalk along one side of the street. The preliminary is for the creation of 13 lots for 26 units.

A public hearing will be held on Wednesday, August 10, 2022 to consider a variance and preliminary plat. A legal notice was published in the Pine Knot on July 29, 2022 and property owners within 350 feet were sent notices of the public hearing.

**Policy Objectives**

The variance is to the Subdivision Code regarding the requirement for sidewalks on one side of a street.

The Subdivision Code states Variances may be granted by the City Council. No variance may be granted unless **all** of the following conditions exist:

1. There are special circumstances or conditions affecting said property which were not created by the landowner.
2. The variance is necessary for the preservation and enjoyment of a substantial property right of the petitioner; and
3. The granting of the variance will not be detrimental to the public welfare or injurious to other property in the territory in which said property is situated.



## Community Development Department

101 14<sup>th</sup> Street • Cloquet MN 55720  
Phone: 218-879-2507 • Fax: 218-879-6555

In making this finding the Council shall consider the nature of the proposed use of land and the existing use of land in the vicinity, the number of persons to reside or work in the proposed subdivision and the probable effect of the proposed subdivision upon traffic conditions in the vicinity. In granting a variance as herein provided the Council shall prescribe only conditions that it deems desirable or necessary to the public interest.

The preliminary plat shows 13 lots for the two-family units. The lots all meet the minimum lot size requirements. The wetlands shown on the plat will be impacted by the construction of Edge Drive along with a retaining wall on Lots 4 – 6, Block 2. The impacts fall under the de minimis exemption as allowed by the Wetland Conservation Act (WCA).

The developer has also run a hydraulic model for storm water which has been reviewed by the City Engineer and meets requirements. The stormwater will discharge into a detention pond in the northeast corner of the site it will then drain into the 18<sup>th</sup> Street storm sewer system.

The Code requires private stormwater areas to meet the following requirements:

1. A permanent public easement shall be provided to the city for access for inspection and/or maintenance purposes. Cost incurred by the city for any maintenance of private systems will be billed and/or assessed to the owner/operator.
2. Recorded inspection and maintenance agreements that define inspection and maintenance responsibilities are required. A minimum annual inspection for private systems shall be required. These requirements are transferrable to any party that becomes the owner/operator of the site.
3. An inspection and maintenance plan shall be developed, approved and included as an attachment to the maintenance agreement. At a minimum, maintenance plans must include the following:
  - a. Responsible person(s) for completing inspections and conducting maintenance.
  - b. Frequency of inspections and maintenance.
  - c. Inspection checklist and type of maintenance anticipated.
4. If site configurations or structural stormwater BMPs change, causing decreased BMP effectiveness, new or improved structural stormwater BMPs must be implemented to meet the requirements of this section.
5. The property owner shall keep on file all structural stormwater BMP annual inspection and maintenance records for 5 years and submit to the City as requested.
6. The City shall require the submittal of a letter of credit or other financial security in a form acceptable to the city in the amount of \$5,000 to ensure the stormwater treatment systems are installed correctly and in accordance with this ordinance.



## **Community Development Department**

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Phone: 218-879-2507 • Fax: 218-879-6555

The Subdivision Code requires park dedication as part of a plat. The Park Commission has reviewed the development and request fees in lieu of land dedication.

### **Financial Impacts**

The applicant has paid the required fees to cover the cost associated with the application process.

### **Advisory Committee Action Requested**

The Planning Commission should listen to the testimony that is presented at the public hearing for the variance and preliminary plat. Following this testimony, the Planning Commission should review the variance criteria and either recommend approval or denial or table the variance request as submitted. The Planning Commission should then review the preliminary plat and either recommend approval, denial or table the request.

### **Staff Recommendation**

Staff has reviewed the variance requirements and would recommend denial of the variance. Staff has reviewed the preliminary plat and would recommend approval of these subject to the conditions in the draft resolutions.

### **Supporting Documents Attachments**

- Resolution No. 19-17 Variance
- Resolution No. 19-17 PP
- Location Map
- Petitioner Narrative
- Preliminary Plat Drawings
- Engineer's Memo Dated 8-2-22

**STATE OF MINNESOTA**

**COUNTY OF CARLTON**

**CITY OF CLOQUET**

Commissioner \_\_\_\_\_ offered the following Resolution and moved its adoption.

**RESOLUTION NO. 19-17 Var**

**A RESOLUTION RECOMMENDING DENIAL OF A VARIANCE TO THE SUBDIVISION CODE REQUIREMENT FOR SIDEWALKS FOR JAMES KUKLIS**

**WHEREAS**, James Kuklis is proposing a Variance to the Subdivision Code requirement for a sidewalk to be installed; and

**WHEREAS**, the property of the proposed Variance is located southwest of 18<sup>th</sup> Street and Trail Drive and is legally described as follows:

Outlot "B", Trails Edge, Carlton County, Minnesota. And,

**WHEREAS**, the Planning Commission reviewed the staff report and recommends denial the Variance.

**NOW, THEREFORE, BE IT RESOLVED, BY THE PLANNING COMMISSION OF THE CITY OF CLOQUET, MINNESOTA**, that the Planning Commission recommends denial of Zoning Case 19-17 for a Variance for James Kuklis not to install a sidewalk within the Trails Edge Second.

The foregoing motion was duly seconded by Commissioner \_\_\_\_\_ and being put to vote members voted: AYE: \_\_\_\_ NAY: \_\_\_\_ ABSENT: \_\_\_\_

MARK CLINE \_\_\_\_\_

PHILIP DEMERS \_\_\_\_\_

TERRI LYYTINEN \_\_\_\_\_

ELIZABETH POLLING \_\_\_\_\_

URIAH WILKINSON \_\_\_\_\_

Passed and adopted this 10<sup>h</sup> day of August 2022.

CITY OF CLOQUET

\_\_\_\_\_  
URIAH WILKINSON  
CHAIR

ATTEST: \_\_\_\_\_

Alan Cottingham  
City Planner/Zoning Administrator



**STATE OF MINNESOTA**

**COUNTY OF CARLTON**

**CITY OF CLOQUET**

Commissioner \_\_\_\_\_ offered the following Resolution and moved its adoption.

**RESOLUTION NO. 19-17 PP**

**A RESOLUTION RECOMMENDING APPROVAL OF A PRELIMINARY PLAT IN THE R2 – ONE- AND TWO-FAMILY RESIDENCE DISTRICT FOR JAMES KUKLIS**

**WHEREAS**, James Kuklis is proposing a Preliminary Plat in the R2 – One- and Two-Family Residence District for 13 lots for 26 units; and

**WHEREAS**, As required by ordinance, notification was advertised in the Pine Knot and property owners within 350 feet have been notified. A public hearing was held to consider the application at the regular meeting of the Cloquet Planning Commission on August 10, 2022 at which time Zoning Case / Development Review No. 19-17 was heard and discussed; and

**WHEREAS**, the property of the proposed Preliminary Plat is located east of Briggs Creek Lane and Slate Street and is legally described as follows:

Outlot “B”, Trails Edge, Carlton County, Minnesota. And,

**WHEREAS**, the Planning Commission reviewed the staff report and recommends approval of a Preliminary Plat for 13 lots for 26 units in the R2 – One- and Two-Family Residence District.

**NOW, THEREFORE, BE IT RESOLVED, BY THE PLANNING COMMISSION OF THE CITY OF CLOQUET, MINNESOTA**, that the Planning Commission recommends approval of Zoning Case 19-17 for a Preliminary Plat in the R2 – One- and Two-Family Residence District subject to the following conditions:

1. Compliance with the Engineer’s Memo Dated August 2, 2022.
2. Park Dedication requirements will be cash in lieu of land dedication.
3. A Development Agreement along with the appropriate financial guarantee shall be signed in conjunction with the Final Plat.

The foregoing motion was duly seconded by Commissioner \_\_\_\_\_ and being put to vote members voted: AYE: \_\_\_\_ NAY: \_\_\_\_ ABSENT: \_\_\_\_

MARK CLINE	_____	PHILIP DEMERS	_____
TERRI LYYTINEN	_____	ELIZABETH POLLING	_____
URIAH WILKINSON	_____		

Passed and adopted this 10<sup>th</sup> day of August 2022.

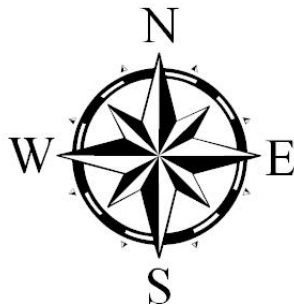
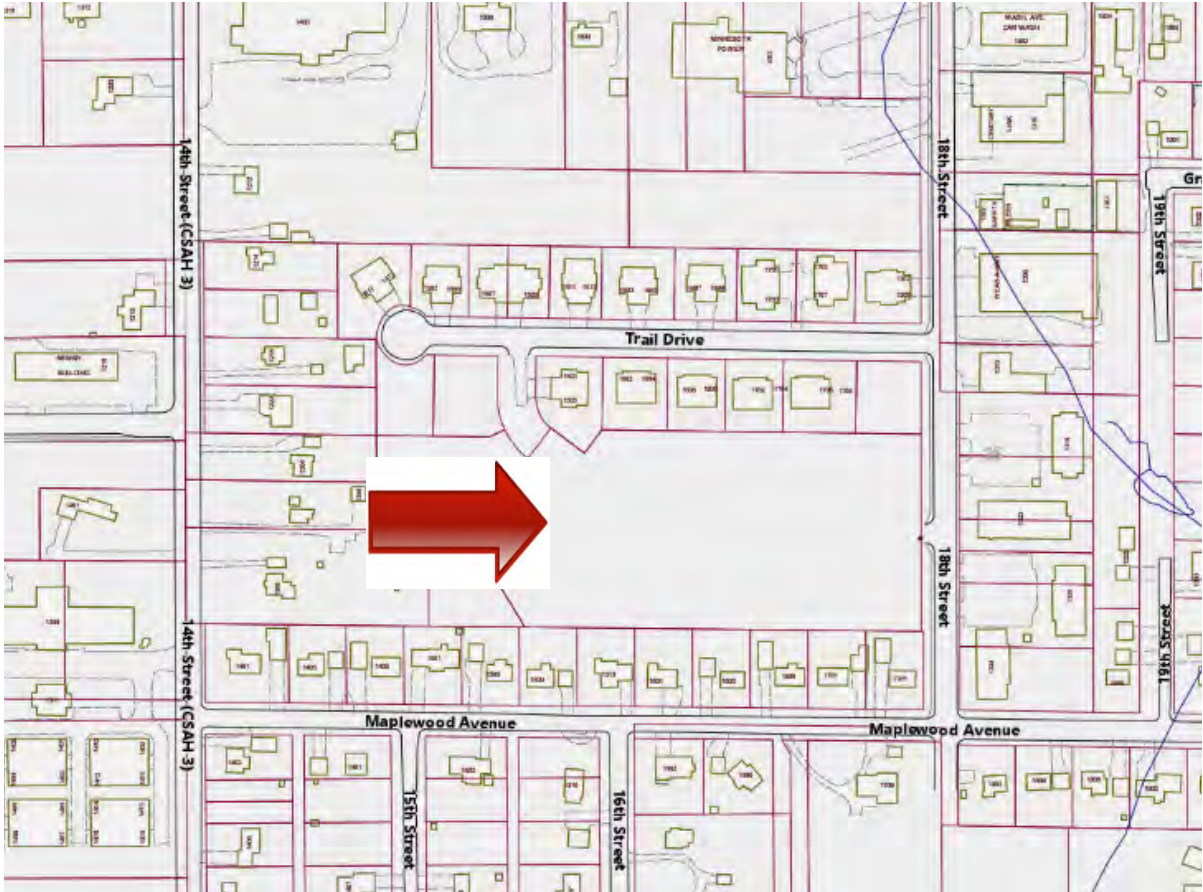
CITY OF CLOQUET

\_\_\_\_\_  
URIAH WILKINSON  
CHAIR

ATTEST: \_\_\_\_\_  
Alan Cottingham  
City Planner/Zoning Administrator

# LOCATION MAP

## Trails Edge Second



**NO SCALE**

Feb 28, 2022

City of Cloquet  
Community Development Department  
101 14<sup>th</sup> Street  
Cloquet, MN 55720

RE: Feb 4, 2022 Letter for All Cottingham  
Trails Edge Second Addition

In response to the referenced correspondence, I would respond to questions **1 through 3** with the following summary table:

	3C	2B	Totals
Square feet of delineated wetland pre project	11255	15592	26847
Square feet lost on lots 4 and 5 w/ retaining wall	268	0	- 268
Square feet lost on 2B with the dike		1247	-1247
Retaining wall set into high ground on Lot 5	955	0	+ 955
Retaining wall set onto high ground on Lot 4	500	0	+ 500
1209.3 to 1206 swale becomes wetland (5' x 65')			+ 325
1206.5 swale at 1.0% becomes wetland (5' x 155')			+775

And the net change in wetland area (excluding the street fill) is +1040 sf

Lowest elevation of native wetland	1208.0	1205-
Edge of delineated wetland estimate	1210.0	1206+
Water elevation stabilized by pipe outlet	<b><u>1208.68</u></b>	1207.87
Water elevation stabilized by swale eastbound	1209.3	<b><u>1206.5</u></b>

The goals of this plan are to prevent runoff from discharging onto the neighbors to the south, thereby containing all of the plat's run-off to be treated as modeled.

**Items 4. And 5** have to do with the preliminary Plat and, by copy of this letter, I am advising the land surveyor of the need for these updates. To repeat those notes:

4. Remove wetland symbols outside the plat between 3C and 2B , South of Lot 2, Block 2, and Northeast of Lot 3, Block 2.
5. Submit the 4/28/2020 preliminary plat to the City Staff which reflects no changes to the lots south of the First Addition cul-de-sac.

**Item 6.** Has to do with the ordinance (13.1.17) requirements for sidewalks. The developer proposes a wider street (32') than minimal (28') to permit intermittent on-street parking in this subdivision for the following reasons:

- a. Special circumstances not created by the developer.

The wetlands which exist on the site constrain some design elements of the project. Neither the North on the South side of Edge Drive would support a sidewalk that would serve all of the adjacent buildings.

The townhome community serves elder residents. The location of the site in the City is a significant distance from commercial services. Walking to those services, by this population, is very unlikely.

Overall, the layout of the lots does not support the continuation of sidewalks Westward to other neighborhoods.

b. Preservation and enjoyment by the petitioner.

The first addition of the project did not include sidewalks. All the homes include attached garages, minimizing the need for outside walking. The wider street option serves to promote safety when snowbanks or heavy visitor parking may require additional caution with driving.

Traffic speeds and volumes per hour in the subdivision are very low. The lifestyle of the existing townhome community is one where residents enjoy attached outside patios. Should they have a dog, each unit has ample yard space.

Wider streets to accommodate visitor parking is preferable for this population. The current population has provided strong and consistent feedback that the original ( no sidewalk ) plan is preferable from both a functional and aesthetic perspective.

The current residents of this community have also expressed a desire for both phases of this senior townhome community to present a consistent appearance, to include street width and no sidewalks. The developer wishes to avoid any future implied "lesser value" of the existing Phase 1 clients compared to the prospective Phase 2 clients.

The concept of this project (both existing and proposed) is for the housing units to be rental units. The petitioner, as well as any future owners, would be faced with complex snow removal issues as driveways cross sidewalks.

c. Detrimental to public welfare or injurious to property.

As a project of duplex residences, common driveways will be predominant. Multiple sidewalk crossings of wide multi-server driveways can present unique safety concerns for pedestrians.

**7. Lot 5 Block 2 setback**

This was shown on the April 28, 2020 preliminary plat.

**8. Park Dedication**

a. Significant expense for wetland preservation.

The developer has submitted a professional plan to satisfy all wetland preservation requirements. This plan serves as a natural buffer between the development and

existing neighbors to the South on Maple Street. Completion of this plan will involve several subcontractors and time, incurring significant expense.

The developer proposes that the combination of designating the wetland area as the Park area and the expense of fulfilling the wetland preservation plan be accepted to satisfy the Parks Dedication component of this application.

**9. Financial Guarantee**

a. Lender support

The developer will provide a letter of commitment by a financial institution upon request.

Very Sincerely

*James Kuklis*

Kuklis Construction  
1593 Evergreen Drive  
Cloquet, MN 55720

(218) 940-5383

# PRELIMINARY PLAT OF TRAILS EDGE SECOND ADDITION

LOCATED IN OUTLOT "B" OF THE RECORDED PLAT OF "TRAILS EDGE" LOCATED IN SECTION 25, TOWNSHIP 49 NORTH, RANGE 17 WEST, OF THE 4TH PRINCIPAL MERIDIAN, CARLTON COUNTY, MINNESOTA.

OWNER & DEVELOPER: TRAILS EDGE, L.L.C.  
1593 EVERGREEN DRIVE  
CLOQUET, MN 55720  
218-879-2160

SURVEYOR: STRAIGHTLINE SURVEYING, INC.  
500 FOLZ BLVD-PO BOX 510  
MOOSE LAKE, MN 55767  
218-485-4811

ENGINEER: WARREN WHITE, PE  
PO BOX 547  
SAINT CROIX FALLS, WI 54024  
715-483-1720

WETLANDS: FINITE EARTH ENVIRONMENTAL, INC  
1324 E. 11TH STREET  
DULUTH, MN 55805  
218-722-5566

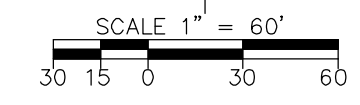
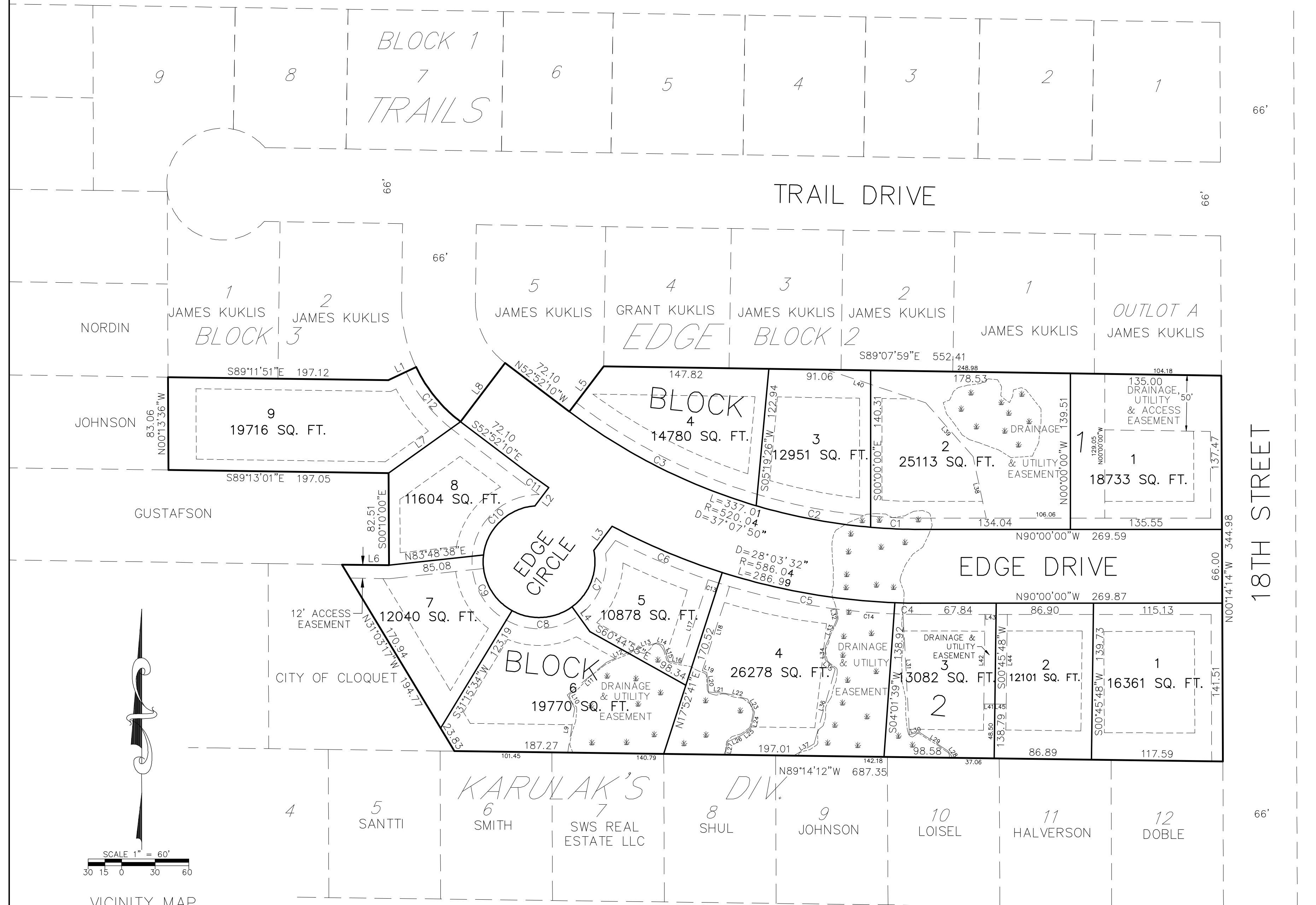
PLAT AREA = 6.82 ACRES±  
ZONING = R2  
PREPARATION DATE: APRIL 2020

UTILITY AND DRAINAGE  
EASEMENTS AS SHOWN

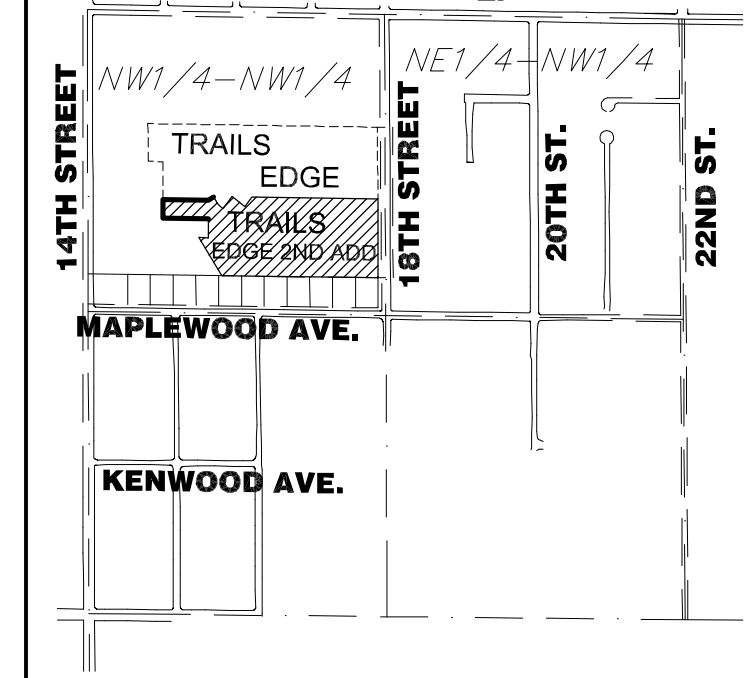


LINE	BEARING	DISTANCE
L1	N64°32'58"E	27.40
L2	S37°07'50"W	20.47
L3	S37°07'50"W	27.21
L4	N36°01'12"W	27.35
L5	S37°07'50"W	50.67
L6	N89°13'01"W	42.01
L7	S54°29'20"E	79.00
L8	N37°07'50"E	66.00
L9	S08°49'14"W	40.19
L10	S28°41'10"E	13.55
L11	S50°06'14"W	45.46
L12	S69°30'56"W	26.25
L13	N72°43'50"E	22.67
L14	N64°54'59"W	5.82
L15	S20°03'22"E	15.04
L16	N79°57'17"W	19.93
L17	S17°52'41"W	78.70
L18	N17°52'41"E	79.07
L19	S64°39'14"E	4.36
L20	S05°54'22"E	17.44
L21	S85°48'54"E	15.37
L22	N75°12'15"W	19.94
L23	S28°36'07"E	13.44
L24	S13°57'59"W	14.87
L25	S51°28'59"W	9.36
L26	N65°08'34"E	14.58
L27	N10°48'50"E	11.90
L28	S36°03'17"E	7.59
L29	S56°43'21"E	30.34
L30	N77°45'22"E	9.16
L31	S03°02'44"E	107.81
L32	N10°54'05"W	8.14
L33	N22°54'47"E	27.68
L34	S00°34'43"W	11.98
L35	S48°59'52"E	12.13
L36	N15°42'31"E	69.58
L37	N59°53'55"E	20.93
L38	N12°02'16"W	56.38
L39	S41°18'03"E	64.10
L40	S71°37'04"E	93.60
L41	S89°14'12"E	10.00
L42	S00°45'48"W	80.29
L43	N89°14'12"W	20.00
L44	N00°45'48"E	80.29
L45	S89°14'12"E	10.00

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	CHORD LENGTH	CHORD BEARING
C1	520.04	44.51	4°54'16"	44.50	S87°32'52"E
C2	520.04	104.43	11°30'22"	104.26	N79°20'33"W
C3	520.04	188.06	20°43'11"	187.04	S63°13'46"E
C4	586.04	22.88	2°14'13"	22.88	S88°52'54"E
C5	586.04	157.17	15°21'59"	156.70	S80°04'48"E
C6	586.04	106.94	10°27'21"	106.80	S67°10'08"E
C7	50.00	57.20	65°32'59"	54.13	N21°12'19"E
C8	50.00	56.62	64°53'03"	53.64	N86°25'20"E
C9	50.00	59.31	67°57'46"	55.89	S27°09'15"E
C10	50.00	68.94	79°00'12"	63.61	S46°19'44"W
C11	586.04	26.41	2°34'56"	26.41	N64°09'37"W
C12	133.00	63.65	27°25'13"	63.04	S39°09'34"E
C13	596.04	20.00	1°55'22"	20.00	N72°23'32"E
C14	596.04	60.43	5°48'33"	60.40	S85°35'54"E



VICINITY MAP (NOT TO SCALE)  
WASHINGTON AVE.

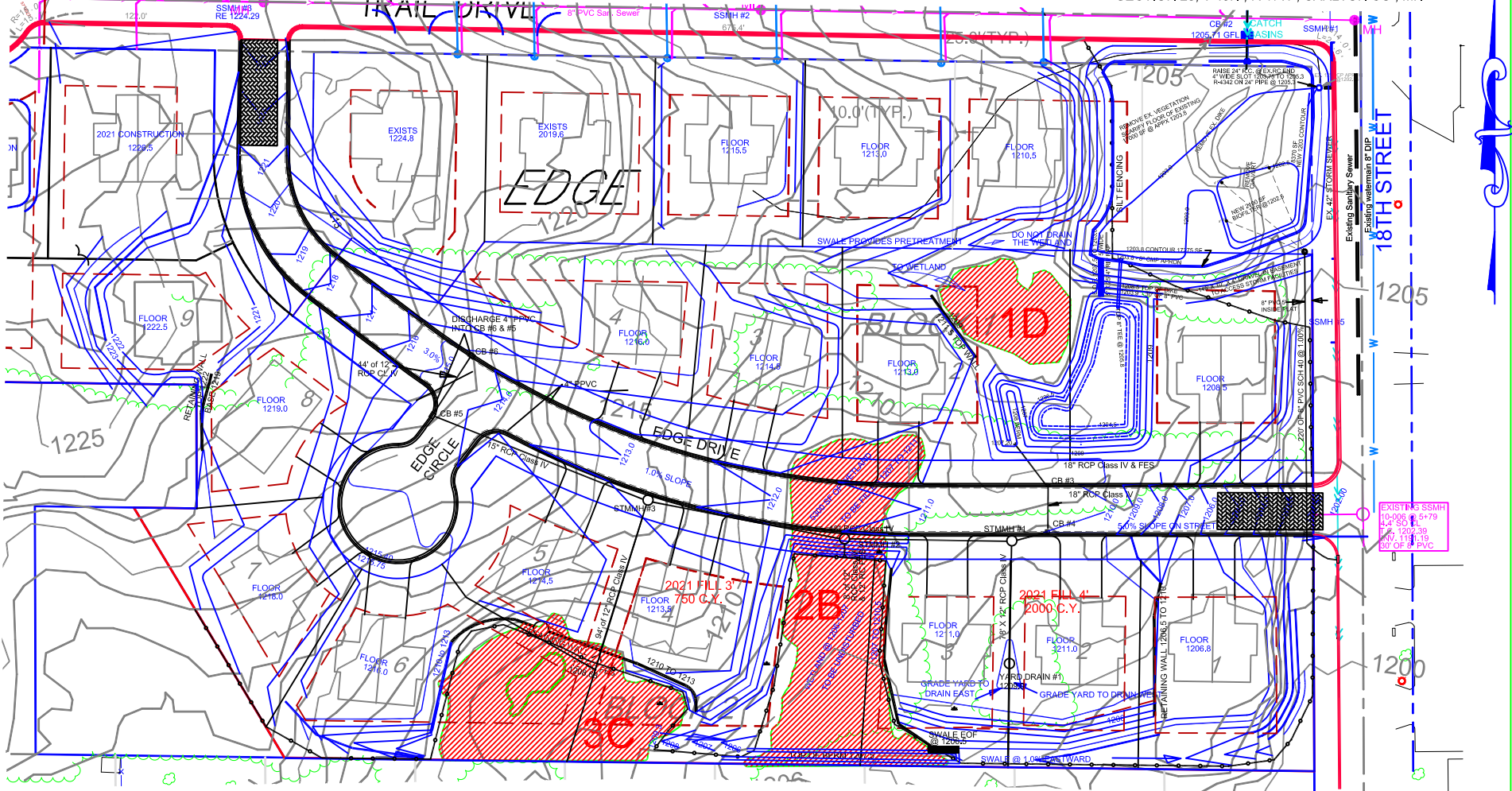


- LEGEND**
- DENOTES FOUND IRON MONUMENT
  - DENOTES 3/4" IRON REBAR MONUMENT, SET AND CAPPED "ANDERSON 45498"
  - ✱ DENOTES DELINEATED WET LAND
  - DENOTES PLAT BOUNDARY LINE
  - DENOTES LOT LINE
  - - - DENOTES WET LAND LINE
  - - - DENOTES BUILDING SETBACK LINE
  - - - DENOTES DRAINAGE & EASEMENT LINE

I hereby certify that this survey, plan, or report was prepared by me or under my direct supervision and that I am a duly Licensed Land Surveyor under the laws of the State of Minnesota.

# TRAILS EDGE SECOND ADDITION

OUTLOT B, TRAILS EDGE BEING A PART OF THE NW1/4-NW1/4, SECTION 25, T.49N., R.17W., CARLTON CO., MN



## INDEX TO PLANSHEETS

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EDGE CIRCLE PLAN/PROFILE	4 OF 6
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DETAILS OF ELEMENTS	6 OF 6

### LEGEND

	ROAD LINE
	LOT LINE
	PROPERTY LINE
	CONTOUR - MAJOR EXISTING
	CONTOUR - MINOR EXISTING
	CONTOUR - MAJOR PROPOSED
	CONTOUR - MINOR PROPOSED
	WETLANDS PER DELINEATION BY: FINTE ENVIRONMENTAL, INC.

OWNER & DEVELOPER: Trails Edge, L.L.C.  
1553 Evergreen Dr.  
Cloquet, MN 55720  
218-873-2190

ENGINEER: Warren White, PE  
P.O. Box 547  
Sault Croix Falls, WI 54024  
715-483-1720

WETLANDS: Finte Earth Environmental, Inc.  
1324 E. 11th Street  
Duluth, MN 55805  
218-722-5566

SURVEYOR: StraightLine Surveying, Inc.  
500 Foltz Blvd.  
Moose Lake, MN 55767  
218-465-4611

## GRADING AND STORMWATER

I HEREBY CERTIFY THAT I AM A DULY REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF MINNESOTA AND THAT THIS PLAN WAS PREPARED BY ME.

DECEMBER 2021

WARREN WHITE P.E. # 11117

**w. white p.e.**

PO Box 547, 239 Day Rd., St. Croix Falls WI 54024  
PH: 715-483-3010 wwp@centurytel.net (t) 861-270-0910

TRAILS EDGE SECOND ADDITION  
KUKLIS CONSTRUCTION CO.  
CLOQUET, MN

TITLE, INDEX & GRADING

PROJ # 259A	DATE 04/12/2020	1/6
DATE 4/1/2022		





## DEPARTMENT OF PUBLIC WORKS

101 14<sup>th</sup> Street; Cloquet, MN 55720  
Phone: (218) 879-6758 Fax: (218) 879-6555  
Street - Water - Sewer – Engineering - Park  
[www.cloquetmn.gov](http://www.cloquetmn.gov)

### MEMO

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To: Al Cottingham, City Planner  
From: John Anderson, Assistant City Engineer  
Date: August 2, 2022

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**SUBJECT:** Trails Edge Second Addition - Preliminary Plan 5<sup>th</sup> Review

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I have reviewed the preliminary plans, submitted on 4/17/20, submitted by Warren White and straight-Line Surveying. The plans contained the following pages:

Preliminary Plat - dated 12-28-21, signed  
Grading - dated July 6, 2022 signed by Warren White  
Utility Plan – - dated July 2022 not signed  
Plan and profile of Edge Drive- dated July 2022 not signed  
Plan and Profile of Edge Circle- dated July 2022 not signed  
SWPPP- dated July 2022 not signed  
Details - - dated July 2022 not signed  
Stormwater Before – dated 4/12/2022 not signed  
Stormwater After – not dated or signed  
Drainage Calculations hydrocad model  
Letter dated July 1, 2022

The following are my comments on the plans submitted;

#### **Preliminary Plat**

1. Outlot A of Trails Edge plat contains only a stormwater pond and should be combined with lot 1 block 2 Trails Edge but retain a drainage easement over the ponding area. Provide documentation this has been combined through Carlton County
2. The Preliminary Plat should show proposed Drainage and Utility Easements over the rear drainage swale on lots 3 and 4 Block 1
3. The Preliminary Plat should show proposed Drainage and Utility Easements over the rear drainage swale on lots 1-6 Block 2

## **Grading**

1. This plan will require a NPDES construction permit as well as a city issued grading permit.

## **Utility Plan**

1. A sanitary sewer extension permit will be required from the Minnesota Pollution Control agency. This permit will need to be approved by the Western Lake Superior Sanitary Sewer District and must be submitted by the City Engineer. The Developer is responsible for providing the permit submittal and permit fees associated with review.
2. A permit for construction the watermain will be required by the Minnesota Department of Health. The developer is responsible to submit this permit and associated fee and must obtain approval prior to any construction.
3. Utility specifications for construction shall be provided for review and comment prior to construction.
4. The Developer will be required to sign the developers agreement prior to beginning any construction on public infrastructure.
5. The City will inspect construction of public infrastructure, the costs associated with inspection and acceptance of public infrastructure will be paid by the developer.
6. The developer will be required to provide as built drawings of all utilities built on this site including the original phase and the new extension. These drawings shall be provided in autocad and PDF formats for review and approval.

## **Edge Drive Profile**

1. Profile of the sanitary sewer shows a vertical bend where the sewer is connect to the stub out of 18<sup>th</sup> street. WLSSD may require that Sanitary sewer must run on a straight grade from manhole to manhole. If required by WLSSD This section will need an additional manhole or relay the stub at the proposed grade of this sewer segment.
2. Sidewalk is required by City Code for this street improvement requirement
3. Provide details of ADA ramp construction.

## **Edge Circle Profile**

1. Sidewalk is required by City Code for this street improvement requirement
1. Provide details of ADA ramp construction.

## **Storm Water Pollution Prevention Plan (SWPPP)**

1. The NPDES permit for this project will remain open until the final house building is completed and final turf establishment is in place.

2. The contractor will be required to inspect the site as required by the NPDES permit, copies of these inspections shall be provided weekly to the City of Cloquet. Additionally provide training certification of the person inspecting and managing the site and the person installing BMPs on the site.
3. A bond in the amount of \$5000 will need to be provided to insure proper function of the stormwater treatment pond
4. SWPPP plan does not show entire development, expand to encompass all areas to be graded including lots in Trails Edge (phase 1)
5. The SWPPP is not signed by the designer.
6. The MPCA issued construction permit along with the MPCA SWPPP checklist must be submitted along with the final SWPPP prior to any grading taking place on site.

#### **Drainage Calculations**

1. The required water quality volume of 0.242 AF (based on 126,160 SF of new inprevious) will be treated by the proposed bio filtration. The maximum capacity of the new system is 1.366 AF over 48 hours at a rate of 0.77 cfs.



**Community Development Department**

101 14<sup>th</sup> Street • Cloquet MN 55720  
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To: Planning Commission  
From: Al Cottingham, City Planner/Zoning Administrator  
Date: August 3, 2022

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**ITEM DESCRIPTION: ZONING CASE 22-08: VARIANCE AND SITE PLAN FOR  
MINER'S INCORPORATED 707 HIGHWAY 33 SOUTH**

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**Background**

Miner's Incorporated has submitted a Variance and Site Plan application for Caribou Coffee. The site is located at 707 Highway 33 South.

The Variance is to the maximum impervious coverage. The Site Plan is for Caribou Coffee with associated parking, landscaping, grading and drainage, and building location.

A public hearing will be held on Wednesday, August 10, 2022, to consider the Variance. A legal notice was published in the Pine Knot on July 29, 2022, and property owners within 350 feet were sent notice of the public hearing.

**Variance**

Section 17.6.11, Subd. 5 F, Maximum Impervious Coverage. Seventy percent (70%). The applicant proposes seventy-one percent (71%). The site currently has an impervious coverage of ninety-three percent (93%).

**Site Plan**

Attached, the Commission will find the following plans for this development:

- Site Plan
- Grading and Drainage Plan
- Utility Plan
- Landscape Plan
- Lighting Plan
- Building Elevations

**Impervious Surface:** (Section 17.6.11, Subd. 5. E and F)

The zoning district allows the maximum building coverage to be 60%, approximately 6% proposed, with a maximum impervious surface coverage of 70%. The impervious surface coverage is approximately 71% which is below what the site currently has, a variance is being sought.



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### **Building Setbacks:** (Section 17.6.11, Subd. 5. B)

The ordinance requires that the minimum front setback be 35 feet, the minimum side yard setback be 20 feet and the minimum rear yard setback be 30 feet. It has been determined that the site has two front yards, a side yard and a rear yard. All Setbacks have been met.

### **Landscaping:** (Section 17.5.04 Subd. 5.)

The landscape plan shows 16 overstory plantings, the site is required to have 16 overstory plantings.

### **Parking:** (Section 17.5.11 Subd. 6.)

The site is required to have 23 parking spaces based on 1 parking stall per 40 square feet of seating area plus 1 per 80 square feet of kitchen area. The site plan shows 29 parking spaces.

### **Trash Storage:** (Section 17.5.15 Subd. 7. A (7))

The trash storage area can either be inside the building or an exterior enclosure. The trash storage area will be in an exterior storage area.

### **Signage:** (Section 17.5.13 Subd. 14.)

The plan shows wall signage that the applicant is not sure they will be doing. Any signage proposed will need to meet the ordinance requirements. Signage on the roof as shown on the exterior elevations is not allowed.

### **Lighting:** (Section 17.5.12 Subd. 5. B)

The applicant has provided a photometric plan along with detail sheets which display downward facing fixtures that emit footcandle readings that are compliant with City lighting standard.

### **Other Site Plan Items:**

They are also showing a bike rack on the site.

### **Policy Objectives**

The Zoning Ordinance states Variances may be granted when they are in harmony with the general purpose and intent of the ordinance, are consistent with the Comprehensive Plan, and when the applicant for the variances establishes that there are practical difficulties in complying with the official control. No variance may be granted unless **all** of the following conditions exist:

1. The property owner proposes to use the property in a reasonable manner not permitted by an official control;
2. The plight of the landowner is due to circumstances unique to the property not created by the landowner; and
3. The variance, if granted, will not alter the essential character of the locality.



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The purpose of this Site Plan Review application is to ensure that this development project is aligned with city development standards.

**Financial Impacts**

The Variance and Site Plan fees were paid.

**Advisory Committee Action Requested**

The Planning Commission should listen to the testimony that is presented at the public hearing pertaining to the variances. Following this review the Planning Commission can approve the request, deny the request or table the request for some additional information.

The Commission should also review the Site Plan and take into account any comments pertaining to it. Following this review the Planning Commission can recommend approval of the request, recommend denial of the request or table the request for some additional information.

**Staff Recommendation**

Staff would recommend approval of the Variances to the maximum impervious coverage. The proposed coverage is less than what is existing and is only 1% over the maximum allowed. Staff would recommend approval of the Site Plan subject to at least the conditions in the attached resolution.

**Supporting Documents Attachments**

- Resolution No. 22-08 Var
- Resolution No. 22-08 Site Plan
- Location Map
- Engineer's Memo
- Site Plan Maps

**STATE OF MINNESOTA**

**COUNTY OF CARLTON**

**CITY OF CLOQUET**

Commissioner \_\_\_\_\_ offered the following Resolution and moved its adoption.

**RESOLUTION NO. 22-08 Var**

**A RESOLUTION APPROVING A VARIANCE TO THE MAXIMUM IMPERVIOUS  
COVERAGE IN THE RC – REGIONAL COMERCIAL DISTRICT FOR MINER’S  
INCORPORATED**

**WHEREAS**, Miner’s Incorporated is proposing a Variance to the maximum impervious coverage in the RC – Regional Commercial District; and

**WHEREAS**, As required by ordinance, notification was advertised in the Pine Knot on July 29, 2022, and property owners within 350 feet have been notified. A public hearing was held to consider the application at the regular meeting of the Cloquet Planning Commission on August 10, 2022, at which time Zoning Case / Development Review No. 22-08 was heard and discussed; and

**WHEREAS**, the property of the proposed Variance is located at 707 Highway 33 South and is legally described as follows:

All that part of Lot 1, Lumberjack Addition, lying east of the east line of the West Half of the Northeast Quarter of the Southwest Quarter, Section 23, Township 49, Range 17, Carlton County, Minnesota. And,

**WHEREAS**, the Planning Commission reviewed the staff report and approves the Variance to the maximum impervious coverage in the RC – Regional Commercial District.

**NOW, THEREFORE, BE IT RESOLVED, BY THE PLANNING COMMISSION OF THE CITY OF CLOQUET, MINNESOTA**, that the Planning Commission approves Zoning Case 22-08 for a variance to the maximum impervious coverage in the RC – Regional Commercial District.

The foregoing motion was duly seconded by Commissioner \_\_\_\_\_ and being put to vote members voted: AYE: \_\_\_\_ NAY: \_\_\_\_ ABSENT: \_\_\_\_

MARK CLINE	_____	PHILIP DEMERS	_____
TERRI LYYTINEN	_____	ELIZABETH POLLING	_____
URIAH WILKINSON	_____		

Passed and adopted this 10<sup>th</sup> day of August 2022.

CITY OF CLOQUET

\_\_\_\_\_  
URIAH WILKINSON  
CHAIR

ATTEST: \_\_\_\_\_  
Alan Cottingham  
City Planner/Zoning Administrator



**STATE OF MINNESOTA**

**COUNTY OF CARLTON**

**CITY OF CLOQUET**

Commissioner \_\_\_\_\_ offered the following Resolution and moved its adoption.

**RESOLUTION NO. 22-08 Site Plan**

**A RESOLUTION RECOMMENDING APPROVAL OF A SITE PLAN IN THE RC –  
REGIONAL COMMERCIAL DISTRICT FOR MINER’S INCORPORATED FOR  
CARIBOU COFFEE**

**WHEREAS**, Miner’s Incorporated is proposing a Site Plan in the RC – Regional Commercial District for Caribou Coffee; and

**WHEREAS**, the property of the proposed Site Plan is located 707 Highway 33 South and is legally described as follows:

All that part of Lot 1, Lumberjack Addition, lying east of the east line of the West Half of the Northeast Quarter of the Southwest Quarter, Section 23, Township 49, Range 17, Carlton County, Minnesota. And,

**WHEREAS**, the Planning Commission reviewed the staff report and recommends approval of the Site Plan.

**NOW, THEREFORE, BE IT RESOLVED, BY THE PLANNING COMMISSION OF THE CITY OF CLOQUET, MINNESOTA**, that the Planning Commission recommends approval of Zoning Case 22-08 for a site plan for Miner’s Incorporated for Caribou Coffee subject to the following conditions:

1. Cross easements should be filled for the shared access to the site.
2. Compliance with the Assistant City Engineer’s Memo.

The foregoing motion was duly seconded by Commissioner \_\_\_\_\_ and being put to vote members voted: AYE: \_\_\_\_ NAY: \_\_\_\_ ABSENT: \_\_\_\_

MARK CLINE	_____	PHILIP DEMERS	_____
TERRI LYYTINEN	_____	ELIZABETH POLLING	_____
URIAH WILKINSON	_____		

Passed and adopted this 10<sup>th</sup> day of August 2022.

CITY OF CLOQUET

\_\_\_\_\_  
URIAH WILKINSON  
CHAIR

ATTEST: \_\_\_\_\_  
Alan Cottingham  
City Planner/Zoning Administrator

# LOCATION MAP

## Miner's Incorporated



**NO SCALE**



## DEPARTMENT OF PUBLIC WORKS

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### MEMO

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To: Al Cottingham, City Planner  
From: John Anderson, Assistant City Engineer  
Date: July 26, 2022

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**SUBJECT:** Caribou Coffee Site Plan Review

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I have reviewed the preliminary plans, submitted on 7/15/22, submitted by Tim Kleinman. The plans contained the following sets:

Civil Plans – by Northland Engineering dated 7/18/22  
Floor Plans and elevations – by Reprise Architecture dated 7/18/22  
Survey – by ALTA land survey company dated 1/16/2019  
Photometric plan by Graybar dated 7/12/2022

The following are my comments on the plans submitted

#### **Grading**

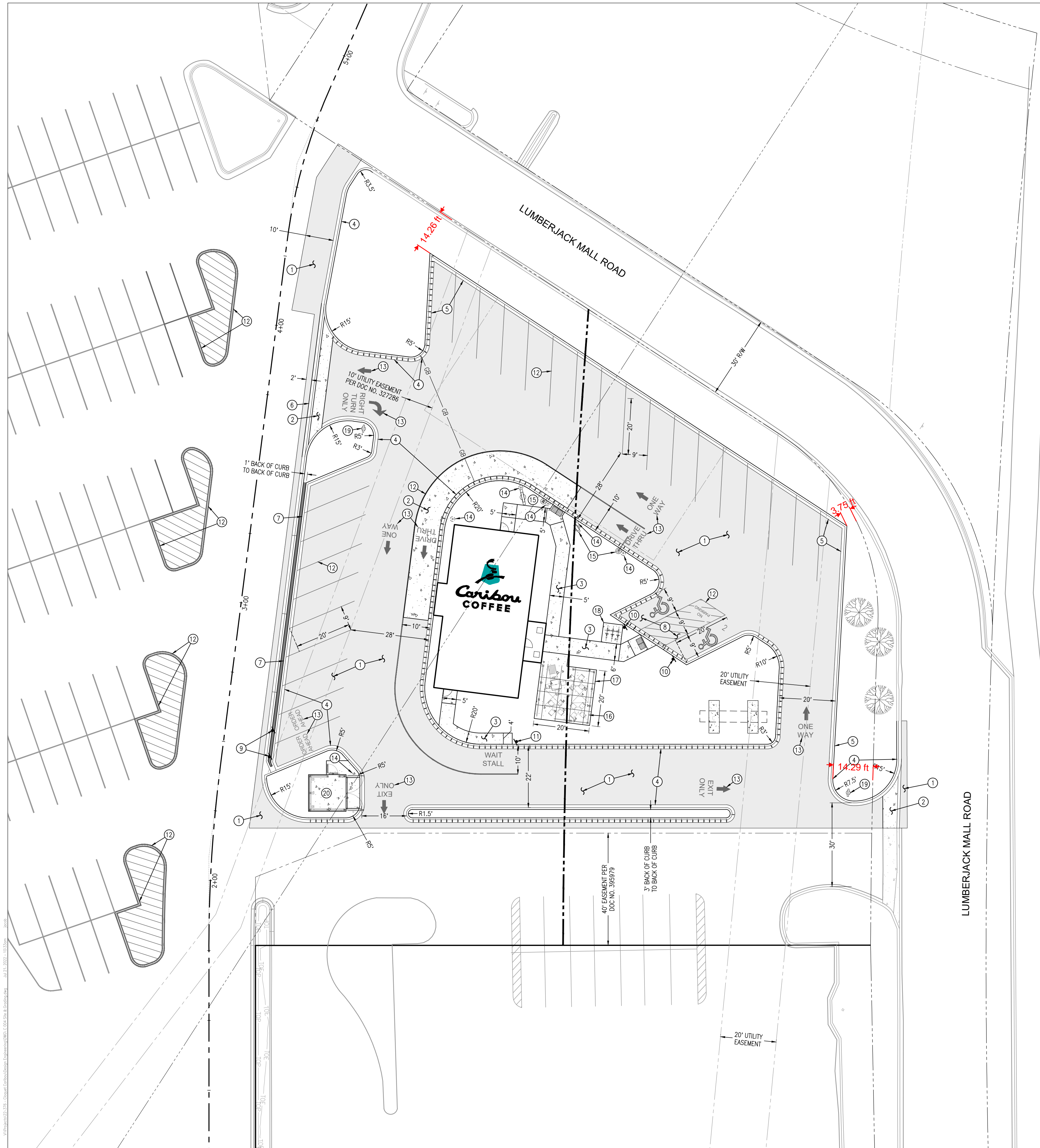
1. This plan will not require a NPDES construction permit and not require a city issued grading permit. As the disturbed area measures to be 0.85 Ac.
2. If the developer chooses to include additional parking lot repaving withing the existing Pinetree Plaza mall area and the repaving does not regrade the subgrade this area is not considered disturbed area and would not be added to the 0.85 Ac measured for disturbed area

#### **Utility Plan**

1. The developer will be required to provide as built drawings of all utilities built on this site. These drawings shall be provided in autocad and PDF formats for review and approval.
2. Sewer and Water connection permits will be required from the City's Building Dept

#### **Storm Water Pollution Prevention Plan (SWPPP)**

1. As a grading permit is not required a Stormwater Pollution Prevention Plan is not required. Erosion control on site shall be managed in accordance with building permits issued for the work.



SITE PLAN KEY NOTES	
1	BITUMINOUS PAVEMENT - SEE DETAIL
2	CONCRETE PAVEMENT - SEE DETAIL
3	4" CONCRETE WALK - SEE DETAIL
4	B612 CURB AND GUTTER
5	S512 CURB AND GUTTER
6	RIBBON CURB - SEE DETAIL
7	4" CONCRETE INFILL - 12" WIDE BETWEEN CURBS
8	ACCESSIBLE PARKING - SEE DETAIL
9	SURFACE MOUNTED SIGN POST, FOR SIGN - SEE ARCH
10	DRIVEN SIGN POST, FOR SIGN SEE ACCESSIBLE PARKING DETAIL
11	WAIT AHEAD SIGN - SEE ARCH
12	4" SOLID LINE PAINT (WHITE)
13	PAVEMENT MESSAGES (WHITE) - AS DISPLAYED
14	BOLLARD - SEE ARCH
15	PREVIEW BOARD, SPEAKER BOX, MENU BOARD, & CLEARANCE SIGN - SEE ARCH
16	PATIO RAILING - SEE ARCH
17	CONCRETE PATIO - SEE 4" CONCRETE WALK DETAIL. FOR CONCRETE FINISHING - SEE ARCH
18	CONCRETE BIKE PAD - SEE 4" CONCRETE WALK DETAIL. FOR BIKE RACK - SEE ARCH
19	INTERNALLY ILLUMINATED DIRECTIONAL SIGNAGE - SEE ARCH
20	TRASH ENCLOSURE - SEE ARCH

**PARKING CODE SUMMARY:**

TOTAL BUILDING SQUARE FOOTAGE: 1,824 SF  
 \*RESTAURANT USE\*

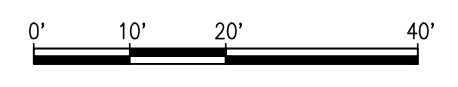
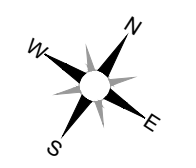
SEATING AREA (BLUE): 598 SF  
 KITCHEN AREA (GREEN): 600 SF

SEATING AREA: 598 SF / (40 SF / STALL) = 15 STALLS MIN.  
 KITCHEN AREA: 600 SF / (80 SF / STALL) = 8 STALLS MIN.

MINIMUM REQUIRED = 23 STALLS MIN.  
 STALLS PROVIDED = 29 STALLS (SEE SITE PLAN)

**AREA CALCS FOR VARIANCE:**

EXISTING IMPERVIOUS COVERAGE= 93% (35,269 SF)  
 PROPOSED IMPERVIOUS COVERAGE= 71% (26,963 SF)



I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota.

*Adam R. Zwick* 07/18/2022  
 Engineer: Adam R. Zwick, P.E. Lic. No. 654566

REVISIONS:

REVISION 1 07/12/2022

PROJECT: 22-376  
 CHECKED: ARZ  
 DRAWN: JDO  
 DATE: 07/18/2022

Sheet Title  
**SITE PLAN**

Sheet Number  
**C 004**

V:\Projects\22\_376 - Caribou Coffee\Site\Drawings\000 - C 004 SITE & ARCH.DWG 07/18/2022 10:33am



1 EAST ELEVATION  
1/4" = 1'-0"



2 NORTH ELEVATION  
1/4" = 1'-0"



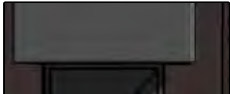
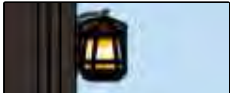








3 SOUTH ELEVATION  
1/4" = 1'-0"



4 WEST ELEVATION  
1/4" = 1'-0"

BUILDING FACADE MATERIAL CALCULATIONS										
	NORTH		EAST		WEST		SOUTH		FULL BUILDING	
BOARD SIDING	308 SF	44%	111 SF	9%	204 SF	11%	20 SF	3%	643 SF	11%
LAP SIDING	0 SF	0%	317 SF	26%	322 SF	27%	317 SF	46%	956 SF	25%
STONE	104 SF	15%	179 SF	15%	199 SF	16%	106 SF	15%	588 SF	16%
METAL	80 SF	12%	390 SF	33%	366 SF	31%	237 SF	34%	1273 SF	28%
GLAZING	200 SF	29%	201 SF	17%	103 SF	9%	14 SF	2%	518 SF	14%
TOTAL	692 SF	100%	1198 SF	100%	1194 SF	100%	694 SF	100%	3718 SF	100%

BUILDING MATERIALS LEGEND

-  FABRIC AWNING, SUNBRELLA: SLATE 9KU 4684-0000
-  LIGHT FIXTURE - PROGRESS P5164-86 BURNISHED CHESTNUT WALL LAMPS
-  STONE - CULTURED/MANUFACTURED STONE; ENVIRONMENTAL STONWORKS STYLE: TUSCAN LEDGESTONE, COLOR: LANTANA, SILL CAP; ENVIRONMENTAL STONWORKS DRIP LEDGE COLOR: KODIAK
-  PARAFET WALL CAP FLASHING/COPING/FASCIA WRAP COLOR TO MATCH UNA-CLAD "CHARCOAL", SEALANT TO MATCH CAP FLASHING COLOR (CHARCOAL)
-  DARK BRONZE STOREFRONT DOORS, WINDOWS, AND H1 SERVICE DOORS.
-  PREFINISHED METAL FLASHING - COLOR TO MATCH ADJACENT STONE SILL CAP
-  PREFINISHED HARDIE PANEL BOARD AND BATTEN VERTICAL SIDING, COLOR - SHERWIN WILLIAMS "CLOUDBURST"; SEALANT TO MATCH SIDING COLOR
-  PREFINISHED HARDIE PANEL BOARD AND BATTEN VERTICAL SIDING, COLOR - BENJAMIN MOORE "BITTERSWEET CHOCOLATE"; SEALANT TO MATCH SIDING COLOR
-  PREFINISHED HARDIE PLANK LAP SIDING, COLOR - BENJAMIN MOORE "BITTERSWEET CHOCOLATE"; SEALANT TO MATCH SIDING COLOR
-  UNA-CLAD UC-1 STANDING SEAM METAL ROOF, COLOR: "CHARCOAL"; PREFINISHED METAL FASCIA WRAP TO COLOR MATCH STANDING SEAM ROOF.

PRELIMINARY  
NOT FOR CONSTRUCTION

PRELIMINARY  
NOT FOR CONSTRUCTION

CARIBOU COFFEE COMPANY  
'CHALET' STORE W/ DRIVE-THRU  
DT LEFT PROTOTYPE SHELL BUILDING  
LUMBERJACK MALL ROAD, CLOQUET, MN 55378

EXTERIOR ELEVATIONS



Caribou Coffee Company  
3900 Laketree Ave N  
Brooklyn Center, MN 55429

DATE ISSUED  
SITE PLAN APPROVAL 07-18-2022

DRAWN BY CE  
CHECKED BY CS  
JOB NO. 19252  
PROJECT LOCATION:  
CLOQUET, MN



**Community Development Department**

101 14<sup>th</sup> Street • Cloquet MN 55720

Phone: 218-879-2507 • Fax: 218-879-6555

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To: Planning Commission  
From: Al Cottingham, City Planner/Zoning Administrator  
Date: August 3, 2022

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**ITEM DESCRIPTION: ZONING CASE 22-09: COMPREHENSIVE PLAN AMENDMENT (LAND USE PLAN) AND REZONING FOR PRU PROPERTIES, LLC FOR PROPERTY LOCATED NORTHWEST OF HOLMES DRIVE AND 8<sup>TH</sup> STREET**

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**Background**

Pru Properties, LLC. is proposing a Comprehensive Plan Amendment (Land Use Plan) and Rezoning northwest of Holmes Drive and 8<sup>th</sup> Street. The property is guided Low Density Residential and zoned R1 – Single-Family Residence and is proposed to be guided Highway Commercial and zoned RC - Regional Commercial. There are no specific plans for the development of the property at this time.

A public hearing will be held on Wednesday, August 10, 2022 to consider a possible amendment to the Comprehensive Plan (Land Use Plan) and Rezoning. A legal notice was published in the Pine Knot on July 29, 2022 and property owners within 350 feet were sent notice of the public hearing.

**Land Use Plan and Rezoning**

In August 2007 the City Council adopted the 2007 – 2027 Comprehensive Plan for the City of Cloquet. Chapter 3 of the Plan, Land Use discusses Inventory and Analysis; Goals, Objectives, and Policies; and, Land Use Plan. As part of that adoption the property was guided on the Land Use Plan as Low Density Residential. Subsequently the property was zoned R1 – Single-Family Residence. In both of these cases legal notices were published in the official newspaper but notices were not sent to individual property owners or owners within 350 feet of property being changed.

Staff has reviewed the language in the Comprehensive Plan pertaining to both the “Low Density Residential” and “Highway Commercial”. The Low Density Residential guided properties were most of the areas within the anticipated 2027 public sewer and water service boundary. The Highway Commercial guided properties along Highway 33 for commercial uses. Sanitary Sewer and water are located in 8<sup>th</sup> Street.



## **Community Development Department**

101 14<sup>th</sup> Street • Cloquet MN 55720

Phone: 218-879-2507 • Fax: 218-879-6555

### **Policy Objectives**

The Land Use Plan portion of the Comprehensive Plan discusses the “Low Density Residential” and the “Highway Commercial”. Excerpts of those pages are attached. The plan does not have any specific locational criteria for where certain districts should be located. The Rezoning of the property is to be consistent with the Comprehensive Plan. The property adjacent to the west and south is guided Highway Commercial.

### **Financial Impacts**

The Comprehensive Plan Amendment and Rezoning fees were paid.

### **Advisory Committee Action Requested**

The Planning Commission should listen to the testimony that is presented at the public hearing and review the language in the Comprehensive Plan pertaining to both the “Low Density Residential” and “Highway Commercial”. Following this review the Planning Commission can recommend approval of the request, recommend denial of the request or table the request for some additional information. The Commission should take the same action on the Rezoning application so the two are consistent.

### **Staff Recommendation**

This property recently had a portion of 7<sup>th</sup> Street and Taylor Avenue vacated and a number of years ago the city vacated Taylor Avenue to the east of the property. Access to this property is now limited to Holmes Drive and it seems more appropriate that the property be developed with a commercial use than residential. Staff would recommend approval of the Comprehensive Plan Amendment (Land Use Plan) and the Rezoning.

### **Supporting Documents Attachments**

- Resolution No. 21-01 Comp
- Resolution No. 21-01 Rezone
- Location Map
- Comprehensive Plan Excerpt
- Land Use Plan
- Zoning Map



**STATE OF MINNESOTA**

**COUNTY OF CARLTON**

**CITY OF CLOQUET**

Commissioner \_\_\_\_\_ offered the following Resolution and moved its adoption.

**RESOLUTION NO. 22-09 Comp**

**A RESOLUTION RECOMMENDING THE CITY COUNCIL OF CLOQUET APPROVE THE COMPREHENSIVE PLAN AMENDMENT (LAND USE PLAN) FROM “LOW DENSITY RESIDENTIAL” TO “HIGHWAY COMMERCIAL”**

**WHEREAS**, Pru Properties LLC is proposing a Comprehensive Plan Amendment (Land Use Plan) from “Low Density Residential” to “Highway Commercial”; and

**WHEREAS**, As required by ordinance, notification was advertised in the Pine Knot on July 29, 2022, and property owners within 350 feet were notified. A public hearing was held to consider the application at the regular meeting of the Cloquet Planning Commission on August 10, 2022, at which time Zoning Case / Development Review No. 22-09 was heard and discussed; and

**WHEREAS**, the property of the proposed Comprehensive Plan Amendment (Land Use Plan) is located northwest of Holmes Drive and 8<sup>th</sup> Street and is legally described as follows:

Lots 4 – 6, Block 5, and that part of the adjacent vacated 7<sup>th</sup> Street and Taylor Avenue, City of Cloquet Junttis Addition, and that portion of Taylor Avenue lying west of the centerline of 7<sup>th</sup> Street, Luomalas Addition, Carlton County, Minnesota.

**WHEREAS**, the Planning Commission reviewed the staff report and recommends approval of the Comprehensive Plan Amendment (Land Use Plan).

**NOW, THEREFORE, BE IT RESOLVED, BY THE PLANNING COMMISSION OF THE CITY OF CLOQUET, MINNESOTA**, that the Planning Commission recommends approval of Zoning Case 22-09 to the Cloquet City Council.

The foregoing motion was duly seconded by Commissioner \_\_\_\_\_ and being put to vote members voted: AYE: \_\_\_\_ NAY: \_\_\_\_ ABSENT: \_\_\_\_

MARK CLINE	_____	PHILIP DEMERS	_____
TERRI LYYTINEN	_____	ELIZABETH POLLING	_____
URIAH WILKINSON	_____		

Approved this 10<sup>th</sup> day of August 2022.

CITY OF CLOQUET

\_\_\_\_\_  
URIAH WILKINSON  
CHAIR

ATTEST: \_\_\_\_\_  
Alan Cottingham  
City Planner/Zoning Administrator

**STATE OF MINNESOTA**

**COUNTY OF CARLTON**

**CITY OF CLOQUET**

Commissioner \_\_\_\_\_ offered the following Resolution and moved its adoption.

**RESOLUTION NO. 22-09 Rezone**

**A RESOLUTION RECOMMENDING THE CITY COUNCIL OF CLOQUET APPROVE  
THE REZONING FROM “R1 – SINGLE-FAMILY RESIDENCE” TO “RC –  
REGIONAL COMMERCIAL”**

**WHEREAS**, Pru Properties LLC is proposing a Rezoning from “R1 – Single-Family Residence” to “RC – Regional Commercial”; and

**WHEREAS**, As required by ordinance, notification was advertised in the Pine Knot on July 29, 2022, and property owners within 350 feet were notified. A public hearing was held to consider the application at the regular meeting of the Cloquet Planning Commission on August 10, 2022, at which time Zoning Case / Development Review No. 22-09 was heard and discussed; and

**WHEREAS**, the property of the proposed Rezoning is located northwest of Holmes Drive and 8<sup>th</sup> Street and is legally described as follows:

Lots 4 – 6, Block 5, and that part of the adjacent vacated 7<sup>th</sup> Street and Taylor Avenue, City of Cloquet Junttis Addition, and that portion of Taylor Avenue lying west of the centerline of 7<sup>th</sup> Street, Luomalas Addition, Carlton County, Minnesota.

**WHEREAS**, the Planning Commission reviewed the staff report and recommends approval of the Rezoning.

**NOW, THEREFORE, BE IT RESOLVED, BY THE PLANNING COMMISSION OF THE CITY OF CLOQUET, MINNESOTA**, that the Planning Commission recommends approval of Zoning Case 22-09 to the Cloquet City Council.

The foregoing motion was duly seconded by Commissioner \_\_\_\_\_ and being put to vote members voted: AYE: \_\_\_\_ NAY: \_\_\_\_ ABSENT: \_\_\_\_

MARK CLINE	_____	PHILIP DEMERS	_____
TERRI LYYTINEN	_____	ELIZABETH POLLING	_____
URIAH WILKINSON	_____		

Passed this 10<sup>h</sup> day of August 2022.

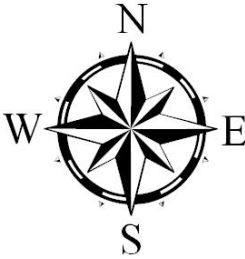
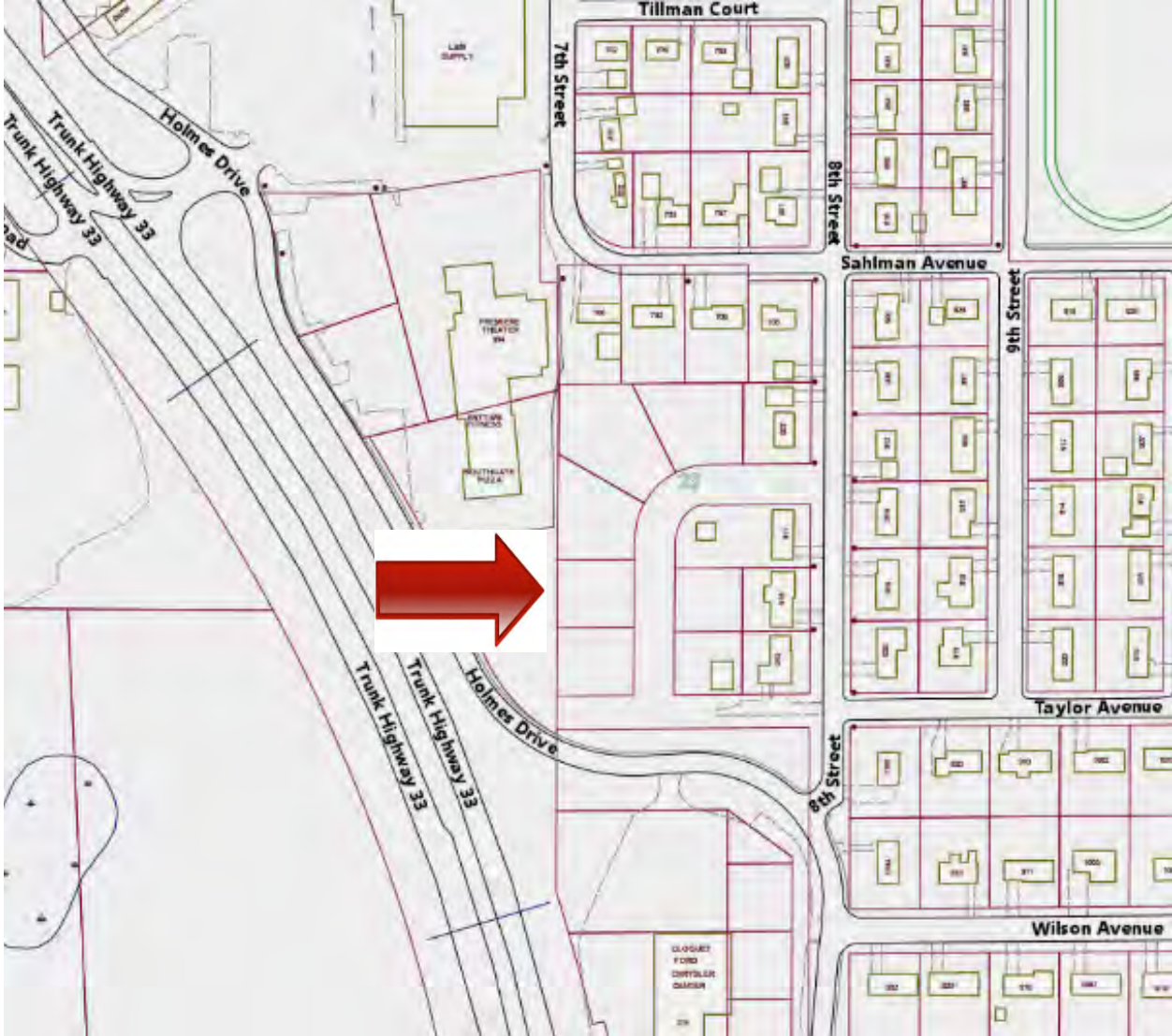
CITY OF CLOQUET

\_\_\_\_\_  
URIAH WILKINSON  
CHAIR

ATTEST: \_\_\_\_\_  
Alan Cottingham  
City Planner/Zoning Administrator

# LOCATION MAP

## Pru Properties, LLC



**NO SCALE**

# LAND USE PLAN

This section summarizes and expands on the concepts and actions discussed in the inventory and analysis section, and the goals, objectives, and policies section of this chapter.

## OVERVIEW OF FUTURE LAND USES

The following provides an overview of the future land uses designated on the Land Use Plan (see Figure 3-3: Land Use Plan). Detailed parcel data was not available when the Land Use Plan was prepared. Therefore, refer to the Land Use Plan as a general guide. The actual boundaries of the various land uses should generally correspond with lot lines and street centerlines.

### Low-Density Residential

The Comprehensive Plan guides most of the area within the anticipated 2027 public sewer and water service boundary for low-density residential use. Acceptable land uses in this area include single-family detached residences, duplexes, twinhomes, religious institutions, parks, essential services, and other public and semi-public uses that can be sensitively integrated into a low-density residential neighborhood. Low-density residential uses should have a density of one to five dwelling units per acre.

The Comprehensive Plan guides a significant amount of existing agricultural or rural residential land for future low-density residential use. However, as the City prepares detailed plans to provide public sewer and water to these existing rural areas of the city, the City may find that it is not feasible to serve certain existing rural development with public sewer and water. In those cases, the City could possibly amend this Comprehensive Plan and guide those areas for suburban residential use rather than for future low-density residential use.

### Highway Commercial

The Comprehensive Plan guides two primary areas for highway commercial use: 1) an area along State Highway 33 south of the St. Louis River, and 2) an area along Highway 33 north of the St. Louis River. The Comprehensive Plan also guides existing scattered highway commercial use on Cloquet Avenue, Washington Avenue, and Big Lake Road for continued highway commercial use. The following provides an overview of the two primary areas for highway commercial use.

Highway Commercial South of the St. Louis River. Most existing highway commercial use in Cloquet is along Highway 33 south of the St. Louis River. This area includes a large discount department store, a grocery store/shopping center, a variety of restaurants and retail shops, motels, a car dealership, and a movie theater. The Comprehensive Plan supports and integrates the recommendations of Cloquet's 1998 Community Revitalization Plan to improve the existing highway commercial uses in this area. Those recommendations include improving vehicular and pedestrian circulation, integrating the natural landscape into the built environment, redeveloping distressed areas and areas with conflicting uses, and applying design guidelines or standards to existing and proposed development.

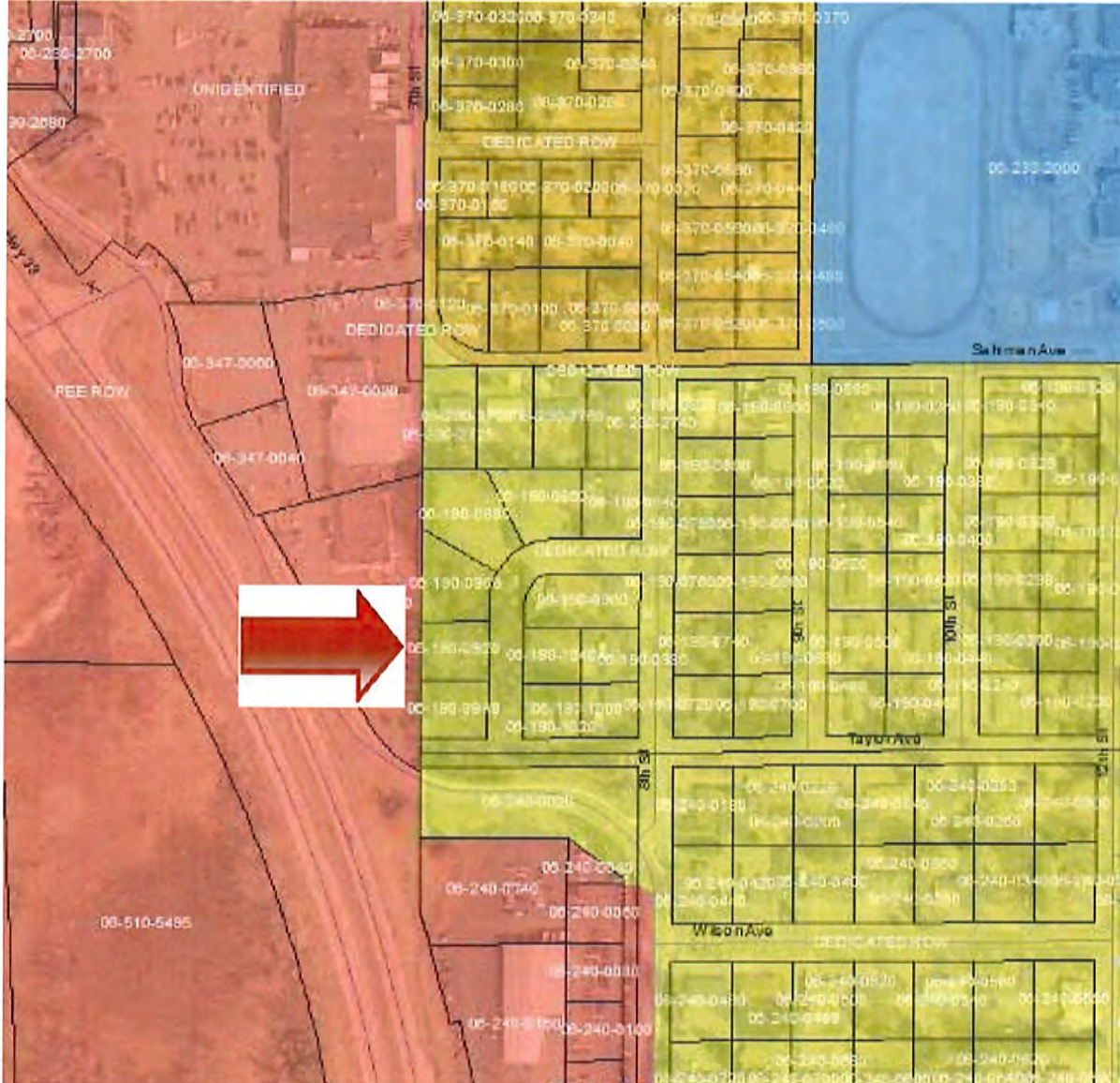
Specific recommendations for this area include the following:

- Work with developers and landowners to study the feasibility of relocating the existing concrete block plant and Minnesota Department of Natural Resources facility to more suitable locations in the city. Explore opportunities for commercial redevelopment of the sites.
- Work with the Minnesota Department of Transportation to improve vehicular and pedestrian circulation in the area, particularly at the intersection of Doddridge Avenue and State Highway 33.



# ZONING MAP

## Pru Properties LLC



NO SCALE