



**Regular Meeting of the Planning Commission**

Tuesday, August 29, 2023

7 pm Regular Meeting

101 14<sup>th</sup> Street, Cloquet, MN 55720

**AGENDA**

1. Call to Order
2. Roll Call
3. Additions/Changes to the Agenda
4. Minutes from the August 8, 2023, Planning Commission meeting

5. Zoning Case 23-08, City of Cloquet, Land Sale

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6. Zoning Case 23-07, C & L Distribution, Site Plan

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7. Commissioner's Questions/Comments

8. Adjourn

**NEXT MEETING:**

**September 12<sup>th</sup> @ 7 pm**



**Regular Meeting of the Planning Commission**

Tuesday, August 8, 2023

7:00 p.m.

101 14<sup>th</sup> Street, Cloquet, MN 55720

**CALL TO ORDER**

Terri Lyytinen called the meeting to order at 7:00 p.m.

**ROLL CALL**

**Attending:** Planning Commission members: Terri Lyytinen, Michelle Wick, Elizabeth Polling and Philip Demers; City: Al Cottingham.

**Absent:** Brittany Kuschel.

**Others Present:** Timothy Hebert.

**AGENDA ITEMS**

**Additions/Changes to the Agenda**

None.

**June 13, 2023, Meeting Minutes**

Chairperson Lyytinen asked for any corrections or additions.

**Motion:** Commissioner Polling made a motion to approve the Planning Commission meeting minutes from June 13, 2023, Commissioner Demers seconded. (Motion was approved 4-0).

**Zoning Case 23-06: Timothy Hebert, Street Vacation**

Chairperson Lyytinen introduced Zoning Case 23-06, Street Vacation for Timothy Hebert and opened the public hearing. She asked Mr. Cottingham to provide an overview. Mr. Cottingham stated Timothy Hebert was proposing a street vacation for a portion of Prospect Avenue lying south of his property at 433 3<sup>rd</sup> Street. There are existing utilities located within the right-of-way and thus the city would look to retain an easement through the property. This is a public hearing, and a legal notice was published in the Pine Knot on July 21<sup>st</sup> and effected property owners were notified of the hearing. Timothy Hebert was present to answer any questions.



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7:00 p.m.

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Mr. Hebert commented that his family has owned the property at 433 3<sup>rd</sup> Street since he was a little boy and now, he is the owner. They had maintained this area all of those years and he thought he should try to become the owner of it since the road would not be going through to 2<sup>nd</sup> street.

There being no further discussion Chairman Lyytinen closed the public hearing and called for a motion.

**Motion:**        **Commissioner Demers made a motion recommending the approval of the vacation of a portion of Prospect Avenue lying south of 433 3<sup>rd</sup> Street while maintaining an easement for drainage and utilities, Commissioner Wick seconded. (Motion passed 4-0)**

Mr. Cottingham stated this would go to the City Council at their meeting on September 5<sup>th</sup> at 6:00 pm.

**Commissioner's Questions/Comment**

Mr. Cottingham stated he might need to have a special meeting on August 29<sup>th</sup> for a site plan request and that he would let them know on either the 17<sup>th</sup> or 18<sup>th</sup>. Three of the members present indicated they would be available.

**Next Meeting**

September 12, 2023

Meeting adjourned 7:12 p.m.

Respectfully submitted,

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Al Cottingham, City Planner/Zoning Administrator



**Community Development Department**

101 14<sup>th</sup> Street • Cloquet MN 55720  
Phone: 218-879-2507 • Fax: 218-879-6555

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To: Planning Commission  
From: Al Cottingham, City Planner/Zoning Administrator  
Date: August 23, 2023

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**ITEM DESCRIPTION: ZONING CASE 23-08: LAND SALE – Cloquet Business Park**

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**Background**

Dick Family Real Estate is looking at purchasing Lots 6, 7 and 8, Block 5, Cloquet Business Park. Attached is a copy of the site plan showing the proposed use of the property.

State Statute requires that a municipal land sale and its proposed use conform to the Comprehensive Plan for the City. The Planning Commission needs to determine if this proposal is in conformance with the Comprehensive Plan.

**Policy Objectives**

The proposed development would be to add additional property to the existing homes and businesses around the property along with the creation of two parcels for new homes to be built.

The Comprehensive Plan for this area is “Highway Commercial”. The proposal for office/warehouse (warehousing) is consistent with the Comprehensive Plan.

**Financial Impacts**

None.

**Advisory Committee Action Requested**

The Planning Commission should review the Development to see that it conforms to the plans for general development of the city. In simpler terms the Commission needs to be sure the plan conforms to the Comprehensive Plan.

**Staff Recommendation**

Staff recommends approval of the land sale.

**Supporting Documents Attachments**

- Resolution No. 23-08
- Location Map
- Site Plan
- Comprehensive Plan Excerpt

**STATE OF MINNESOTA**

**COUNTY OF CARLTON**

**CITY OF CLOQUET**

Commissioner \_\_\_\_\_ offered the following Resolution and moved its adoption.

**RESOLUTION NO. 23-08**

**A RESOLUTION OF THE CITY OF CLOQUET PLANNING COMMISSION FINDINGS THAT A OFFICE/WAREHOUSE DEVELOPMENT IN THE CLOQUET BUSINESS PARK CONFORMS TO THE GENERAL PLANS FOR THE DEVELOPMENT OF THE CITY**

WHEREAS, the City of Cloquet (the "City") has received a proposal to purchase three lots in the Cloquet Business Park and has submitted a plan to the City Planning Commission (the "Commission") pursuant to Minnesota Statutes, and

WHEREAS, the Commission has reviewed the plan to determine their conformity with the general plans for the development of the City as described in the Comprehensive Plan for the City.

NOW, THEREFORE, BE IT RESOLVED by the Commission that the plan conforms to the general plans for the development of the City as a whole.

The foregoing motion was duly seconded by Commissioner \_\_\_\_\_ and being put to vote members voted: AYE: \_\_\_\_ NAY: \_\_\_\_ ABSENT: \_\_\_\_

PHILIP DEMERS	_____	BRITTANY KUSCHEL	_____
TERRI LYYTINEN	_____	ELIZABETH POLLING	_____
MICHELLE WICK	_____		

Passed and adopted this 29<sup>th</sup> day of September 2023.

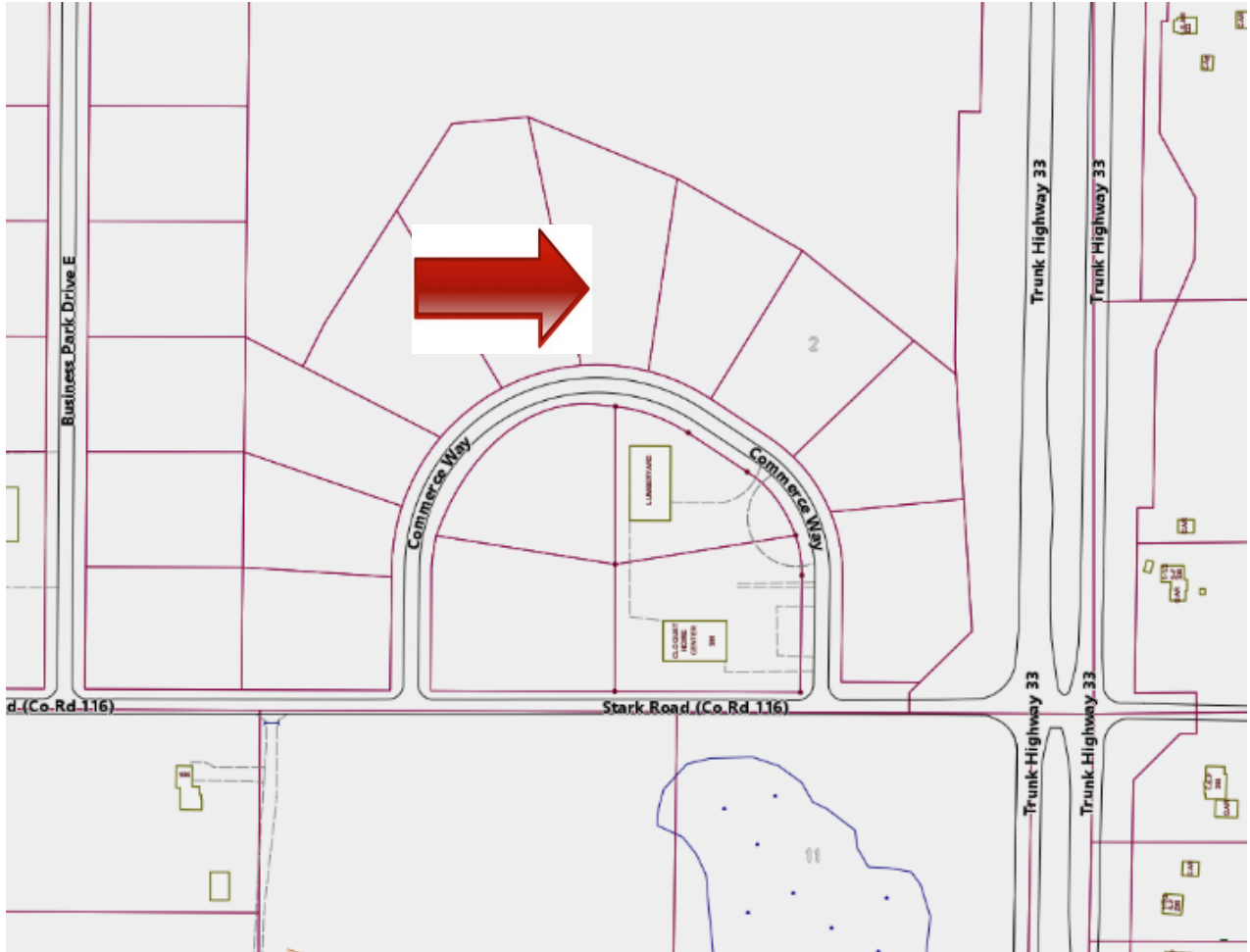
CITY OF CLOQUET

\_\_\_\_\_  
TERRI LYYTINEN  
CHAIR

ATTEST: \_\_\_\_\_  
Alan Cottingham  
City Planner/Zoning Administrator

# LOCATION MAP

## Dick Family Real Estate



**NO SCALE**

LAND SURVEYING ENGINEERING

**NORTHWESTERN SURVEYING ENGINEERING, INC.**  
 P.O. BOX 3087 - BRANDT PARKWAY - 56118

**RINGDAHL ARCHITECTS, INC.**  
 510 22ND AVE. E. SUITE 102  
 ALEXANDRIA, MN 56308

PREPARED FOR: RINGDAHL ARCHITECTS, INC.

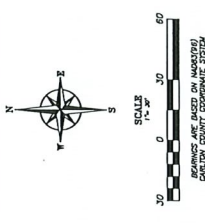
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SCALE: AS SHOWN  
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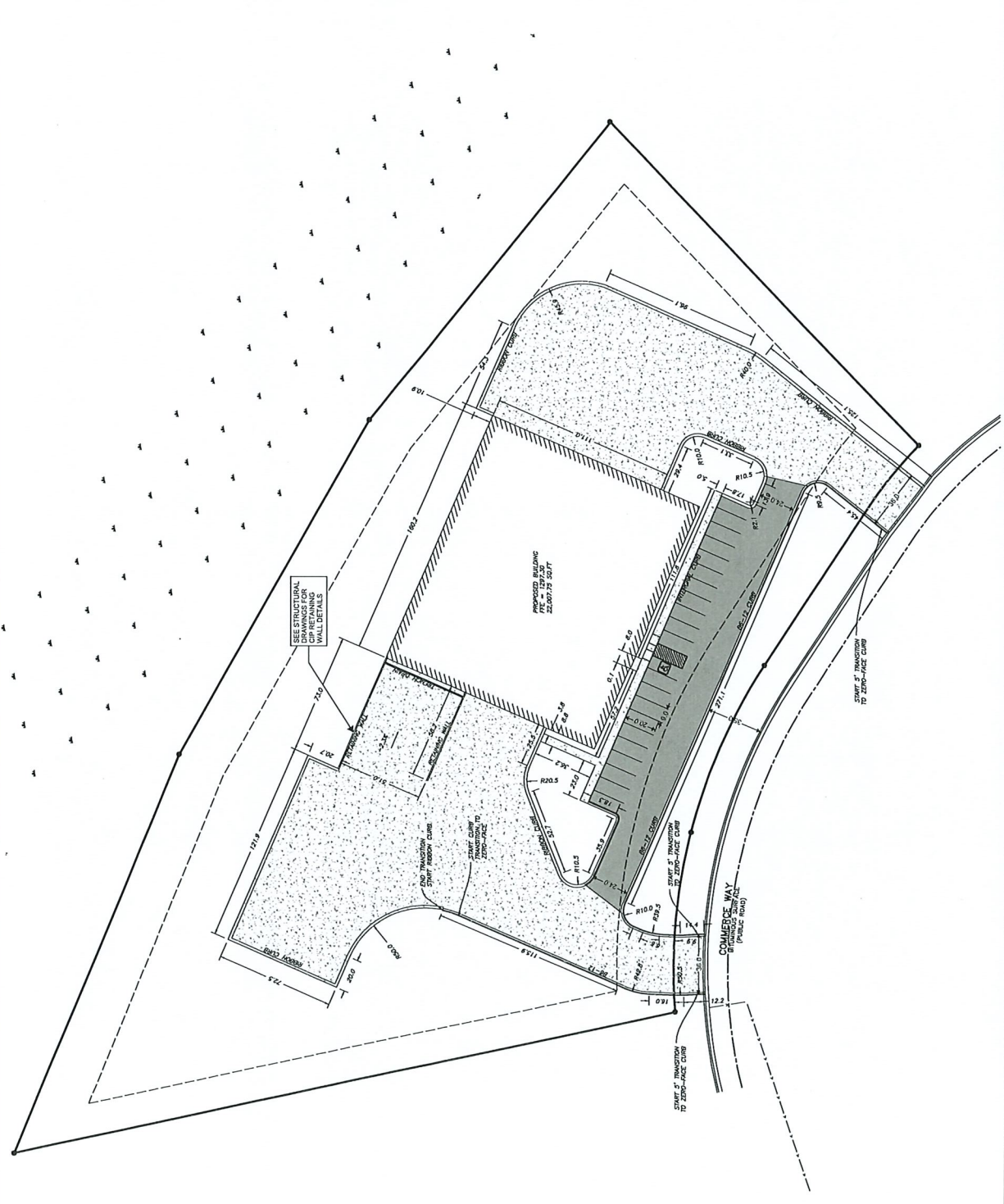
REVISION	DESCRIPTION	DATE

DRAWING NO. **C-4**  
 REV. NO. **0**

**SITE PLAN**



- LEGEND**
- DISTING TOPOGRAPHIC LINES
  - SANITARY SEWER
  - STORM SEWER
  - UNDERGROUND ELECTRIC
  - WATERMAIN
  - DISTING CONTIGAS AIR
  - DISTING CONTIGAS AIR
  - DISTING SPOT ELEVATION
  - PROPOSED CONSTRUCTION LINES
  - SANITARY SEWER PROPOSED
  - SANITARY SERVICE PROPOSED
  - WATERMAIN PROPOSED
  - CONTIGAS AIR
  - CONTIGAS AIR
  - SPOT ELEVATION - PROPOSED
  - PROPOSED PARKING SYMBOLS
  - PARKING STALL LAYOUT
  - HANDICAP PARKING STALL
  - CHUB STOP
  - HANDICAP SIGN
  - 8' LAYOUT
  - PROPOSED UTILITY MANHOLE SYMBOLS
  - SANITARY CLEANOUT PROPOSED
  - SANITARY PUP PROPOSED
  - WATER VALVE PROPOSED
  - WATER HYDRANT PROPOSED
  - WATER CURB STOP PROPOSED
  - WATER CROSS PROPOSED
  - WATER TEE PROPOSED
  - WATER FOR IRIG PROPOSED
  - WATER 20" BOD PROPOSED
  - WATER 36" BOD PROPOSED
  - WATER 48" BOD PROPOSED
  - PROPOSED SITE FEATURES
  - PROPOSED RETAINING WALL
  - PROPOSED GRAVEL SURFACE
  - PROPOSED CONCRETE SURFACE
  - PROPOSED BUILDING (44'x100'x11')



## Comprehensive Plan Excerpt

### City of Cloquet Comprehensive Plan Chapter 3: Land Use

The Comprehensive Plan also guides the Cloquet Business Park north of Stark Road for highway commercial use. The business park and the future highway commercial use south of the Stark Road should complement each other. Potentially, the business park could accommodate primarily office/showroom/warehouse uses, whereas the future highway commercial use to the south could accommodate primarily retail, restaurants, car dealerships, and motels.

An overarching goal of the Comprehensive Plan is to strengthen the downtown area. Consequently, commercial uses that are more suited for the downtown area should be encouraged to locate in the downtown area, whereas true highway commercial uses should be encouraged to locate along the highway.





**Community Development Department**

101 14<sup>th</sup> Street • Cloquet MN 55720  
Phone: 218-879-2507 • Fax: 218-879-6555

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To: Planning Commission  
From: Al Cottingham, City Planner/Zoning Administrator  
Date: August 23, 2023

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**ITEM DESCRIPTION: ZONING CASE 23-07: SITE PLAN STRACK  
CONSTRUCTION FOR C&L DISTRIBUTION LOCATED  
NORTHWEST OF HIGHWAY 33 AND STARK ROAD**

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**Background**

Strack Construction has submitted a Site Plan application for C & L Distribution. The site is located northwest of Highway 33 and Stark Road.

The Site Plan is for C & L Distribution with associated parking, landscaping, grading and drainage and building location.

**Site Plan**

Attached, the Commission will find the following plans for this development:

- Site Plan
- Grading and Drainage Plan
- Utility Plan
- Landscape Plan
- Building Elevations

**Stormwater Management:** (Section 18.6)

The developer has also run a hydraulic model for storm water which has been reviewed by the City Engineer and needs some minor changes. The stormwater will be collected on site and then discharged to the north along the rear property lines of the site. There is an existing drainage and utility easement to the north of the property containing existing wetlands.

The Code requires private stormwater areas to meet the following requirements:

1. A permanent public easement shall be provided to the city for access for inspection and/or maintenance purposes. Cost incurred by the city for any maintenance of private systems will be billed and/or assessed to the owner/operator.
2. Recorded inspection and maintenance agreements that define inspection and maintenance responsibilities are required. A minimum annual inspection for private systems shall be required. These requirements are transferrable to any party that becomes the owner/operator of the site.



**Community Development Department**

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Phone: 218-879-2507 • Fax: 218-879-6555

3. An inspection and maintenance plan shall be developed, approved and included as an attachment to the maintenance agreement. At a minimum, maintenance plans must include the following:
  - a. Responsible person(s) for completing inspections and conducting maintenance.
  - b. Frequency of inspections and maintenance.
  - c. Inspection checklist and type of maintenance anticipated.
4. If site configurations or structural stormwater BMPs change, causing decreased BMP effectiveness, new or improved structural stormwater BMPs must be implemented to meet the requirements of this section.
5. The property owner shall keep on file all structural stormwater BMP annual inspection and maintenance records for 5 years and submit to the City as requested.
6. The City shall require the submittal of a letter of credit or other financial security in a form acceptable to the city in the amount of \$5,000 to ensure the stormwater treatment systems are installed correctly and in accordance with this ordinance.

**Impervious Surface:** (Section 17.6.11, Subd. 5. E and F)

The zoning district allows the maximum building coverage to be 60% with a maximum impervious surface coverage of 70%. It appears that the total impervious surface is below 70%.

**Building Setbacks:** (Section 17.6.11, Subd. 5. B)

The ordinance requires that the minimum front setback be 35 feet, the minimum side yard setback be 20 feet and the minimum rear yard setback be 30 feet. The proposed building location meets or exceeds these minimum requirements.

**Landscaping:** (Section 17.5.04 Subd. 5.)

The landscape plan shows 43 overstory plantings plus understory trees and shrubs, the site is required to have 43 overstory plantings a minimum of 2.5 inches in diameter in addition to understory trees and shrubs.

**Parking:** (Section 17.5.11 Subd. 6.)

The site is required to have 22 parking spaces based on 1 parking stall per every 250 sq. ft. of office area and 1 stall for every 2,000 sq. ft. of warehouse. The site plan shows 22 parking spaces.

**Trash Storage:** (Section 17.5.15 Subd. 7. A (7))

The trash storage area can either be inside the building or an exterior enclosure. The plans do not show a trash storage area so at this time it will need to be inside the building.

**Signage:** (Section 17.5.13 Subd. 14.)

There is signage proposed on the building at this time. Any freestanding signage will need to meet the Ordinance requirements.



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**Lighting:** (Section 17.5.12 Subd. 5. B)

The applicant is compliant with City lighting standards.

**Other Site Plan Items:**

None.

**Policy Objectives**

The purpose of this Site Plan Review application is to ensure that this development project is aligned with city development standards.

**Financial Impacts**

The Site Plan fee was paid.

**Advisory Committee Action Requested**

The Commission should review the Site Plan and consider any comments pertaining to it. Following this review, the Planning Commission can recommend approval of the request, recommend denial of the request or table the request for some additional information.

**Staff Recommendation**

Staff would recommend approval of the Site Plan subject to at least the conditions in the attached resolution.

**Supporting Documents Attachments**

- Resolution No. 23-07
- Location Map
- Engineer's Memo August 17, 2023
- Site Plan Maps

**STATE OF MINNESOTA**

**COUNTY OF CARLTON**

**CITY OF CLOQUET**

Commissioner \_\_\_\_\_ offered the following Resolution and moved its adoption.

**RESOLUTION NO. 23-07**

**A RESOLUTION RECOMMENDING APPROVAL OF A SITE PLAN IN THE OM – OFFICE/MANUFACTURING DISTRICT FOR STRACK CONSTRUCTION FOR C & L DISTRIBUTION**

**WHEREAS**, Strack Construction is proposing a Site Plan for C & L Distribution in the OM – Office/Manufacturing District for a 22,000 square foot building; and

**WHEREAS**, the property of the proposed Site Plan is located northwest of Highway 33 and Stark Road and is legally described as follows:

Lots 6, 7 and 8, Block 5, Cloquet Business Park, Carlton County, Minnesota. And,

**WHEREAS**, the Planning Commission reviewed the staff report and recommends approval of the Site Plan.

**NOW, THEREFORE, BE IT RESOLVED, BY THE PLANNING COMMISSION OF THE CITY OF CLOQUET, MINNESOTA**, that the Planning Commission recommends approval of Zoning Case 23-07 for a site plan for Strack Construction for a 22,000 square foot building subject to the following conditions:

1. Compliance with the Assistant City Engineer’s Memo dated August 17, 2023.
2. The curbing onto Commerce Way cannot exceed 30 feet in width.
3. The impervious surface cannot exceed 70%.
4. If the trash storage is not located within the building, then it will need to be located within a screen enclosure.
5. Signage shall comply with the Ordinance requirements.

The foregoing motion was duly seconded by Commissioner \_\_\_\_\_ and being put to vote members voted: AYE: \_\_\_\_ NAY: \_\_\_\_ ABSENT: \_\_\_\_

PHILIP DEMERS	_____	BRITTANY KUSCHEL	_____
TERRI LYYTINEN	_____	ELIZABETH POLLING	_____
MICHELLE WICK	_____		

Passed and adopted this 29<sup>th</sup> day of August 2023.

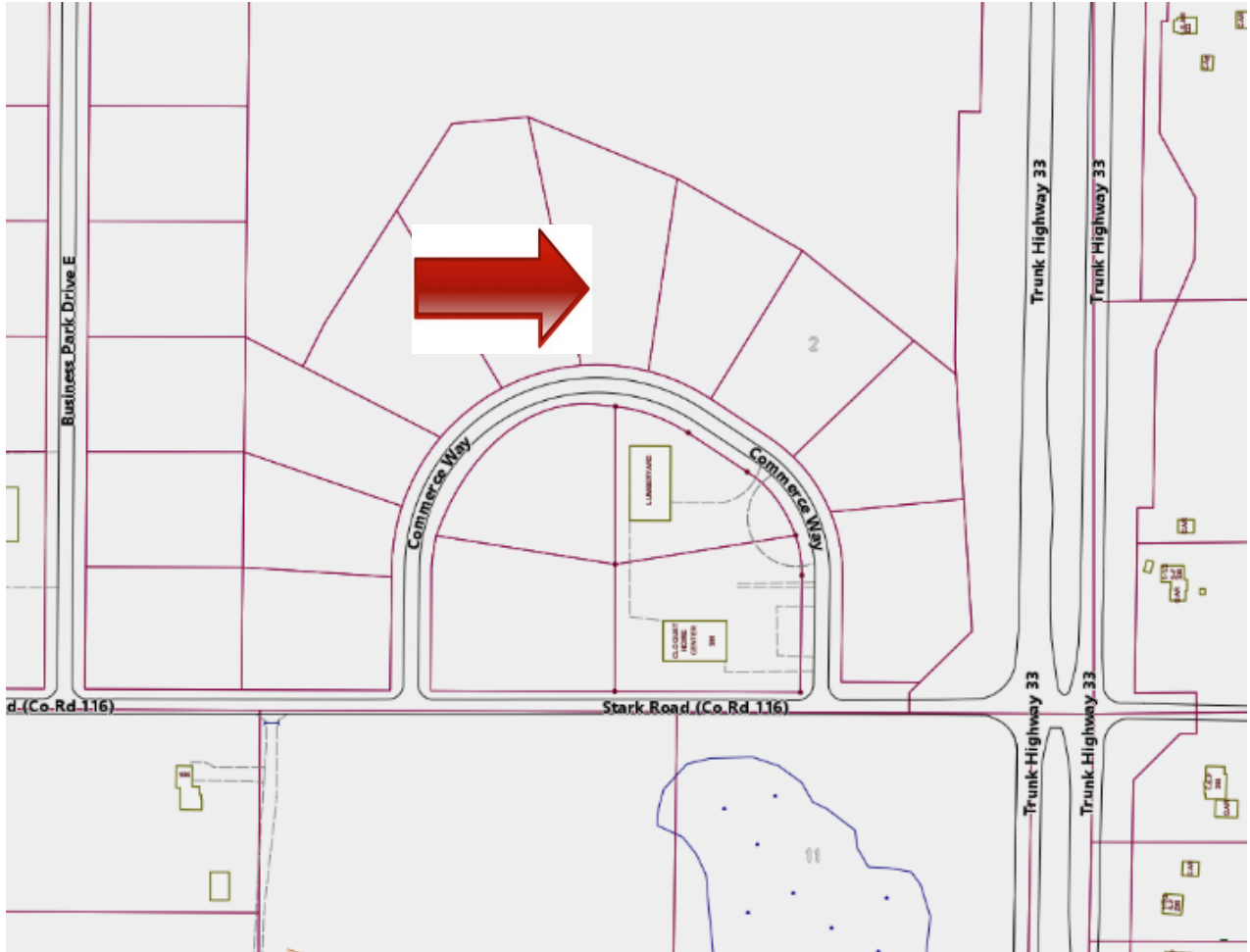
CITY OF CLOQUET

\_\_\_\_\_  
TERRI LYYTINEN  
CHAIR

ATTEST: \_\_\_\_\_  
Alan Cottingham  
City Planner/Zoning Administrator

# LOCATION MAP

## C & L Distribution



**NO SCALE**



## DEPARTMENT OF PUBLIC WORKS

101 14<sup>th</sup> Street; Cloquet, MN 55720  
Phone: (218) 879-6758 Fax: (218) 879-6555  
Street - Water - Sewer – Engineering - Park  
[www.cloquetmn.gov](http://www.cloquetmn.gov)

### MEMO

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To: Al Cottingham, Planner  
From: John Anderson, Assistant City Engineer  
Date: August 17, 2023

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**SUBJECT:** C & L Distributing - Grading permit application review

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I have reviewed the plans, submitted on 8/14/23, submitted by Jayson Revoir with Strack Construction Co. The materials submitted included:

- A1.0 Landscape Plan
- A1.1 Floor Plan
- A2.1 Exterior Elevation
- Civil plans – 10 sheets
- Stormwater calculations
- Lighting Plan
- Zoning Application

The following are my comments on the materials submitted.

#### Civil Plans

1. In reviewing the plans I used the **MPCA SWPPP checklist**. The marked-up checklist is attached. There are items that require updates to the SWPPP identified on this checklist.
  - a. Sheet C-10 states narrative is provided in the Project Manual, please provide a copy of the project manual or add narrative to Sheet C-10
  - b. Sheet C-9 identifies SWPPP designer and Construction SWPPP manager to have documentation of training, please provide copies of these documents.
  - c. Sheet C-3, Erosion Control needs to have drainage area boundaries referenced in drainage calculations shown on the plan.
  - d. Sheet C-9 Permanent Stormwater Management System table should identify the site to be served by a Regional Pond.

#### Sheet C-1

2. General Construction Note 2 should say “City Engineer” in place of “County Engineer.”

#### Sheet C-2

3. The existing 30’ Drainage, Utility and Trail Easement need to be shown along the rear property line.

4. The existing 10 foot gravel trail along the rear property line needs to be shown.
5. The contour “spike” in the wetland north of the site does not look to be the correct topography.
6. Label wetland north of the site.
7. North slope down to wetland has existing trees, some of which will require removal for construction. Identify the extent of tree clearing on the Grading Plan

### **Sheet C-3**

8. Redundant perimeter control between the site and the wetland to the North is required by the NPDES permit. Construction of a topsoil berm in the middle of the existing slope does not seem feasible, consider a double row of silt fence, separated by the required 5' along the bottom of the slope.
9. The Erosion control plan needs to identify cover placed on the topsoil pile and schedule under which this cover is placed.
10. The Construction Entrance detail on sheet C-8 shows the length to be 75 feet but the entrance shown on sheet C-3 is shorter than 75 feet.
11. The legend shows bio-roll ditch checks, but none are shown on the plan.
12. The grading on the swales' slopes and slope along the north property line will require erosion control blanket.
13. The drainage channel from the top of the slope to the existing gravel trail will require permanent slope protection such as riprap, permanent enkamat to prevent slope failure.
14. Label wetland north of the site

### **Sheet C-4**

15. The driveway on the easterly end of the site is situated about 20 feet from the easterly property line. There is a fire hydrant located about 15 feet to the east of this driveway and less than 1 foot behind the curb. This hydrant is vulnerable to being hit by semi-trucks that cut the corner of the driveway. The site would allow for this driveway to move 20 feet to the west to provide a little more clearance from this hydrant.
16. The driveway openings do not show removing the surmountable curb and replacing it with a concrete apron. The ride as you enter the driveway is a little rougher if the surmountable curb is left in place. This decision is left to the owner and designer. If you plan to leave the curb in place, consider placing tapers or radii on the last 5 to 10 feet of new curb adjacent to the street curb.

### **Sheet C-5**

17. The grade in the bottom of the swale along the east property line is less than 1% which is the minimum grade allowed in grass swales.
18. The swale along the east property line extends into the ROW of Commerce Drive. The grade behind the Curb of Commerce Way should remain flat with a slight slope towards the curb of Commerce Way.



19. The grading between the parking lot and the existing gravel trail at the North east end of the parking lot places fill on the trail and makes the slope exceed 3:1. The trail grade cannot be disturbed and the slope cannot exceed 3:1.
20. Drainage is discharged down the north slope at two concentrated locations and at the bottom of the slope this drainage crosses the existing gravel trail. This drainage must not cross over the trail but must be conveyed by pipe under the trail.

#### Sheet C-6 (no comments)

#### Sheet C-7

21. No tracer wire was installed on the existing sewer stub. The new tracer wire should be brought to the surface and terminated in a trace wire access box (Copperhead snake pit) where you connect to the end of the service. A ground rod shall be installed at both ends of the trace wire. The ground wire is to be brought to the surface in the trace wire access box. The trace wire shall be 12 AWG copper clad high carbon steel with HDPE insulation.
22. On Detail 8/7 corporation stop shall be Ford FB1000-7 (Pack Joint), Curbstop shall be Ford 44-777M-NL (Pack Joint), Curb stop box shall be Ford EM2-90-67

#### Sheet C-8

23. On detail 3/8, label temporary cover to be placed on topsoil pile and timing on which to apply cover.

#### Sheet C-9

24. On the receiving water table change the unnamed pond to regional pond and add wetland as a second entry for the drainage that leaves the site to the north.

#### Sheet C-10

25. In Paragraph 3 from the top in the second column that begins “in accordance with the permit (Part 11.2)” add the following sentence at the end of the paragraph in **BOLD CAPS**

**“ALL EROSION CONTROL INSPECTION REPORTS COMPLETED FOR THE SITE BY THE CONTRACTOR SHALL BE EMAILED TO THE CITY’S INSPECTOR WITHIN 24 HOURS OF COMPLETION OF THE INSPECTION”**

26. Under “Record Availability” the third paragraph down talks about an infiltration basin included in the design. Since the Business Park stormwater treatment has been incorporated to regional ponds built with the construction of the park there is no requirement to provide stormwater treatment on individual sites as they develop. Therefore, this infiltration basin is not required. If it is the intent to provide an infiltration basin on site, please show the details of the construction including soil borings to establish an infiltration rate, design calculations to ensure infiltration basin is sized as intended.

27. Since the construction is potentially going to begin late in construction season and not all construction may be complete before winter conditions arrive, please add a section that speaks to the expectations as it relates to temporary cover to be put in place prior to final stabilization is established.

### **Sheet A1.0**

28. The southerly two or three trees shown along the east property line look to be shown in the bottom of the drainage swale and may interfere with operation and maintenance of the swale.
29. The trees along Commerce Way should be spaced so as to not place trees directly over the sewer or water services.

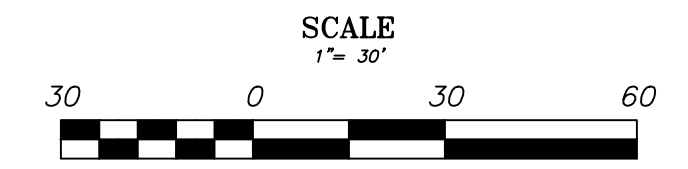
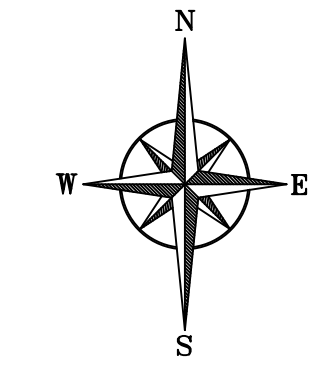
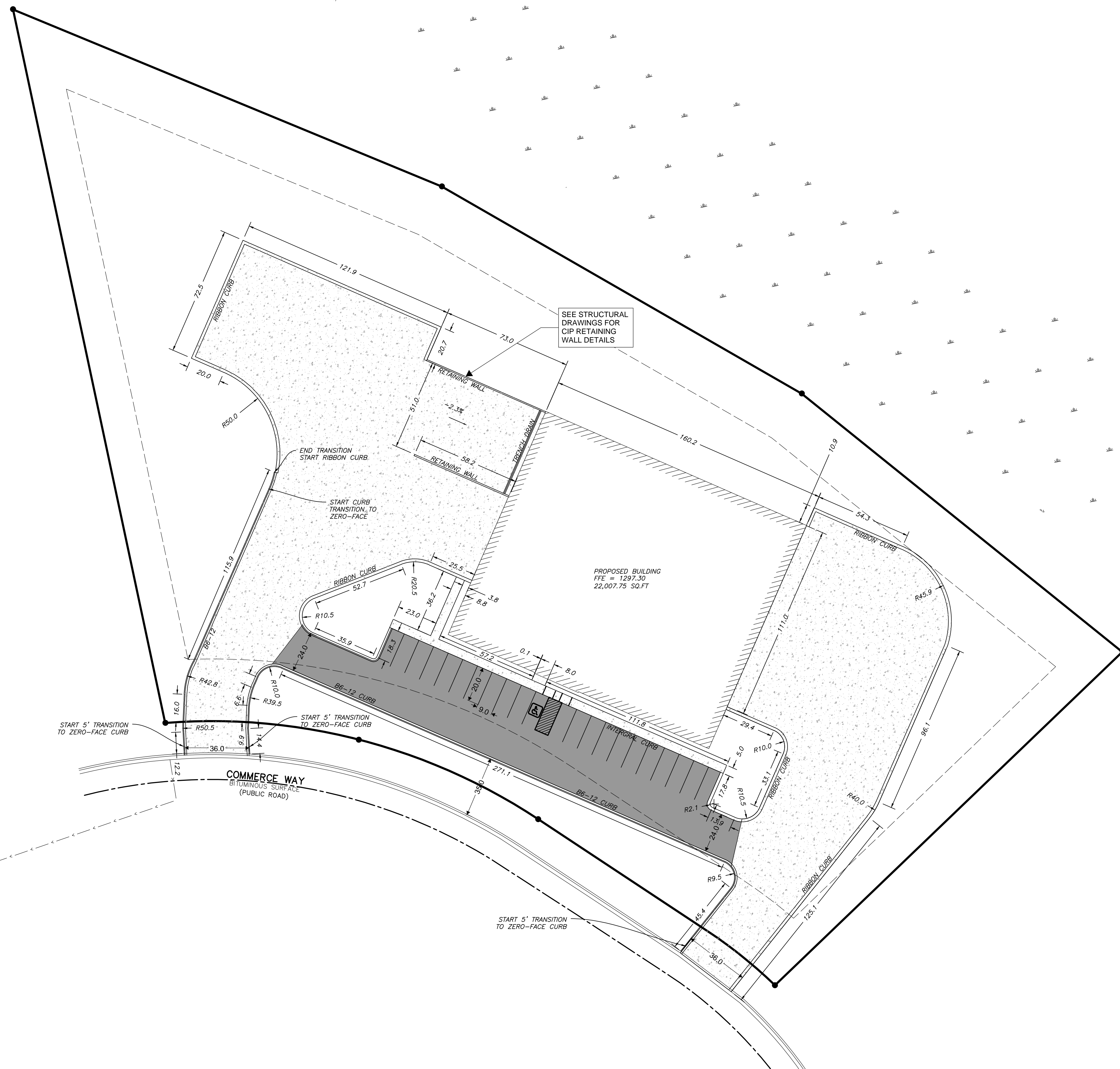
### **Stormwater Calculations**

1. Time of Concentration for both the existing condition and proposed conditions are show as 60 minutes which does not seem to be inline with the site conditions. Rerun the calculations with these numbers calculated and not overridden as direct inputs.
2. Provide calculations for the 2 and 10 year flow down the north slope at the two primary discharge locations
3. Provide design calculations that show the method for conveying stormwater down the north slope (Rip rap channel or pipe) will contain the 10 year flow.
4. Provide design calculations that culverts crossing the gravel trail will convey the 2 year flow without over topping

### **Grading Permit Application**

A City issued grading permit is required for this work. All items must be received in order to issue a City Grading permit.

1. A copy of the MPCA NPDES Construction permit for the site must be submitted
2. A completed permit application with contractor information and permit fee of \$155.24
3. All plan review comments must be addressed.



BEARINGS ARE BASED ON NAD83(96)  
CARLTON COUNTY COORDINATE SYSTEM

**LEGEND**

- EXISTING TOPOGRAPHIC LINES**
- - - - - SANITARY SEWER
  - - - - - STORM SEWER
  - UE - UE - UNDERGROUND ELECTRIC
  - - - - - WATERMAIN
  - - - - - EXISTING CONTOURS MNR
  - - - - - EXISTING CONTOURS MJR
  - x 1371.5 - - - - EXISTING SPOT ELEVATION
- PROPOSED CONSTRUCTION LINES**
- - - - - SANITARY SEWER PROPOSED
  - - - - - SANITARY SERVICE PROPOSED
  - - - - - WATERMAIN PROPOSED
  - - - - - CONTOURS MNR
  - - - - - CONTOURS MJR
  - o 1371.5 - - - - SPOT ELEVATION - PROPOSED

- PROPOSED PARKING SYMBOLS**
- [Symbol] PARKING STALL LAYOUT
  - [Symbol] HANDICAP PARKING STALL
  - [Symbol] CURB STOP
  - [Symbol] HANDICAP SIGN
  - [Symbol] 90° LAYOUT

- PROPOSED UTILITY MUNICIPAL SYMBOLS**
- [Symbol] SANITARY CLEANOUT PROPOSED
  - [Symbol] SANITARY PLUG PROPOSED
  - [Symbol] WATER VALVE PROPOSED
  - [Symbol] WATER HYDRANT PROPOSED
  - [Symbol] WATER CURB STOP PROPOSED
  - [Symbol] WATER CROSS PROPOSED
  - [Symbol] WATER TEE PROPOSED
  - [Symbol] WATER 90° BEND PROPOSED
  - [Symbol] WATER 45° BEND PROPOSED
  - [Symbol] WATER 22.5° BEND PROPOSED
  - [Symbol] WATER 11.25° BEND PROPOSED

- PROPOSED SITE FEATURES**
- [Symbol] PROPOSED BITUMINOUS
  - [Symbol] PROPOSED GRAVEL SURFACE
  - [Symbol] PROPOSED CONCRETE SURFACE
  - [Symbol] 48.6' PROPOSED BUILDING
  - [Symbol] 100.1'

LAND SURVEYING  
UTILITY LOCATION  
UTILITY MAPPING  
3-D LASER SCANNING  
3-D MODELING

**NORTHWESTERN**  
SURVEYING & ENGINEERING, INC.  
P.O. Box 3067 - Bemidji, Minnesota - 56619

VOSB  
ENGINEERING

ENVIRONMENTAL INSPECTION  
PIPELINE SERVICES  
CONSTRUCTION MANAGEMENT

PREPARED FOR:

**RINGDAHL**  
Architects

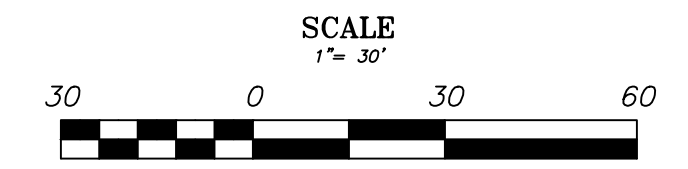
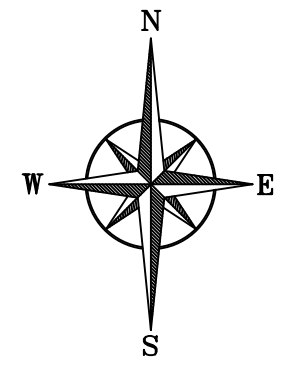
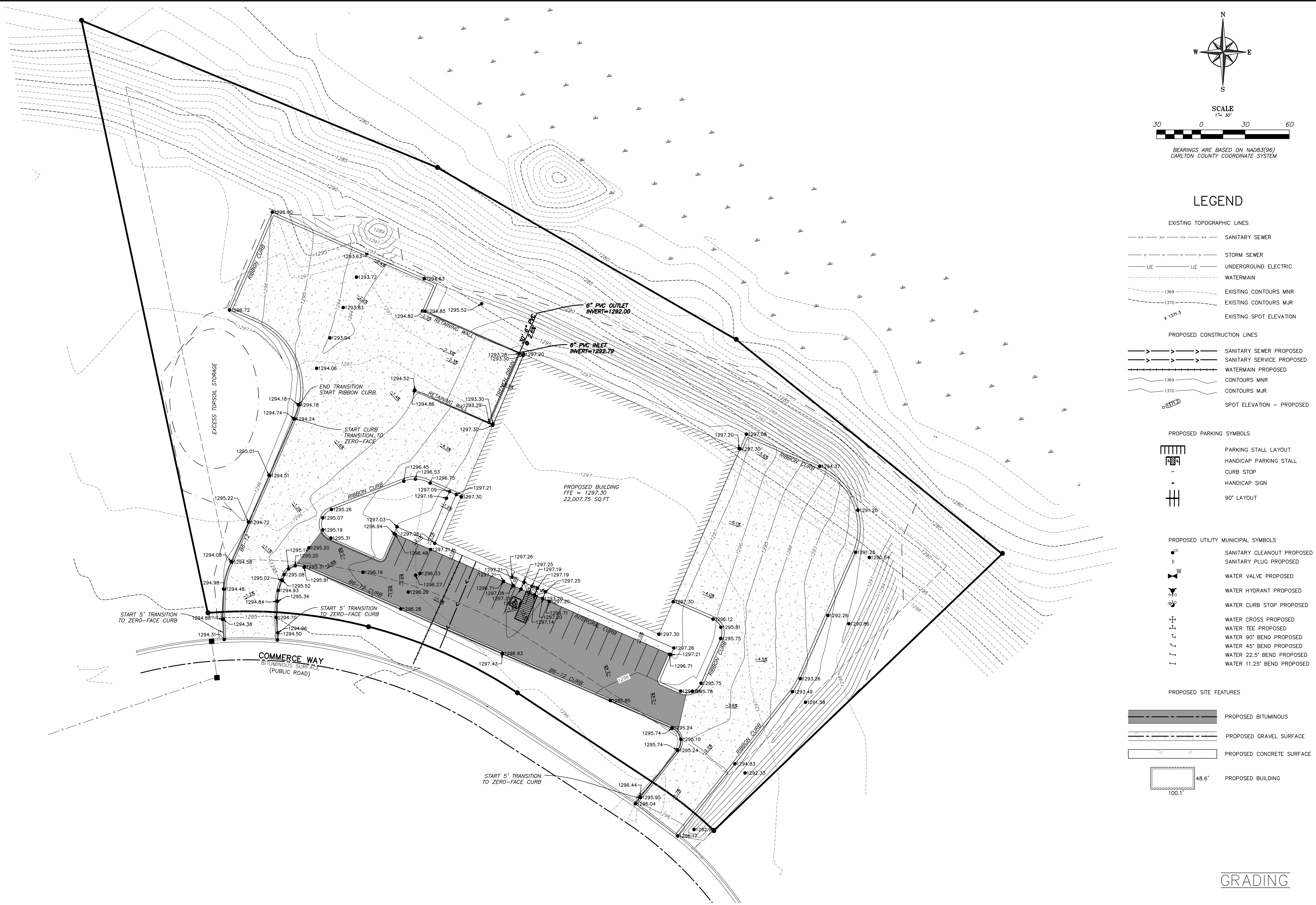
RINGDAHL ARCHITECTS, INC.  
510 22nd AVE E, SUITE 102  
ALEXANDRIA, MN 56308

DRAWN BY: K.NYHUSIEN DATE: 8/11/2023  
GRADING BY: M.STANG DATE: 8/11/2023  
CHECKED BY: A.STENSENG DATE: 8/11/2023  
CAD DATA FILE: S:/23329/ALOQUET LIQUOR DISTRIBUTION.DWG  
SCALE: AS SHOWN  
NWSE PROJECT NO. 23329

REV#	DESCRIPTION	DATE

DRAWING NO.  
**C-4**  
REV. NO.  
**0**

**SITE PLAN**



BEARINGS ARE BASED ON NAD83(96)  
CARLTON COUNTY COORDINATE SYSTEM

### LEGEND

- EXISTING TOPOGRAPHIC LINES**
- - - - - SANITARY SEWER
  - - - - - STORM SEWER
  - UE - UE - UNDERGROUND ELECTRIC
  - - - - - WATERMAIN
  - - - - - EXISTING CONTOURS MNR
  - - - - - EXISTING CONTOURS MJR
  - x 1371.5 EXISTING SPOT ELEVATION
- PROPOSED CONSTRUCTION LINES**
- - - - - SANITARY SEWER PROPOSED
  - - - - - SANITARY SERVICE PROPOSED
  - - - - - WATERMAIN PROPOSED
  - - - - - CONTOURS MNR
  - - - - - CONTOURS MJR
  - SPOT ELEVATION - PROPOSED

### PROPOSED PARKING SYMBOLS

- PARKING STALL LAYOUT
- HANDICAP PARKING STALL
- CURB STOP
- HANDICAP SIGN
- 90° LAYOUT

### PROPOSED UTILITY MUNICIPAL SYMBOLS

- SANITARY CLEANOUT PROPOSED
- SANITARY PLUG PROPOSED
- WATER VALVE PROPOSED
- WATER HYDRANT PROPOSED
- WATER CURB STOP PROPOSED
- WATER CROSS PROPOSED
- WATER TEE PROPOSED
- WATER 90° BEND PROPOSED
- WATER 45° BEND PROPOSED
- WATER 22.5° BEND PROPOSED
- WATER 11.25° BEND PROPOSED

### PROPOSED SITE FEATURES

- PROPOSED BITUMINOUS
- PROPOSED GRAVEL SURFACE
- PROPOSED CONCRETE SURFACE
- PROPOSED BUILDING

LAND SURVEYING  
UTILITY LOCATION  
UTILITY MAPPING  
3-D LASER SCANNING  
3-D MODELING

**NORTHWESTERN**  
SURVEYING & ENGINEERING, INC.  
P.O. Box 3067 - Bemidji, Minnesota - 56619

ENGINEERING  
ENVIRONMENTAL INSPECTION  
CONSTRUCTION MANAGEMENT  
PIPELINE SERVICES

**VOSB**  
VETERAN OWNED SMALL BUSINESS

PREPARED FOR:

**RINGDAHL**  
Architects

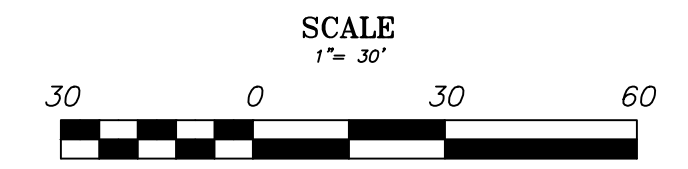
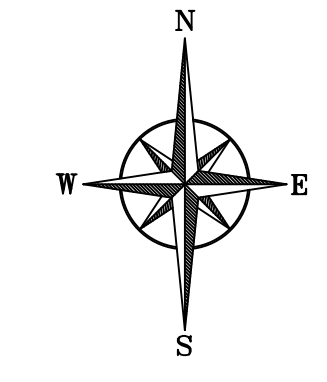
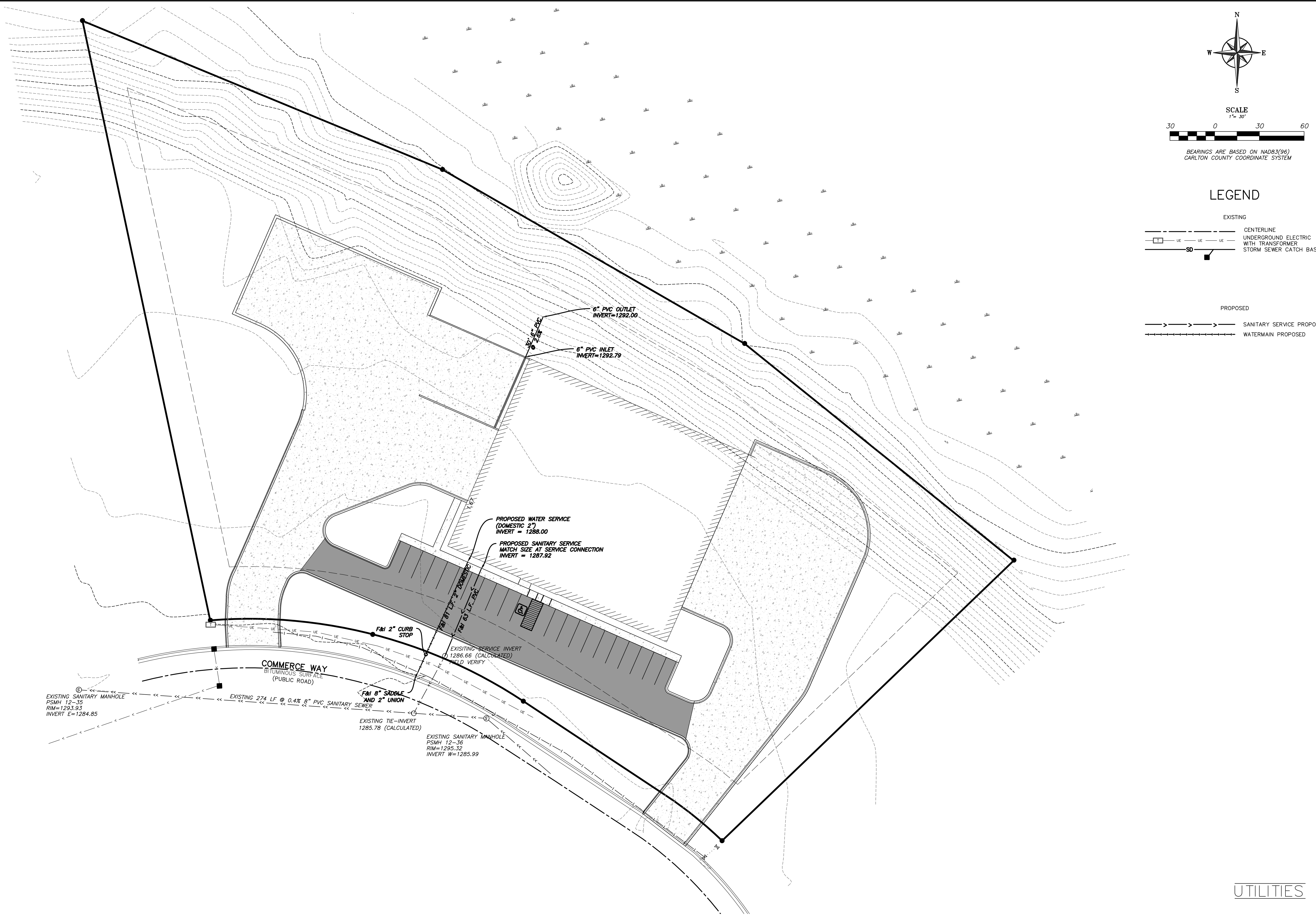
RINGDAHL ARCHITECTS, INC.  
510 22nd AVE E, SUITE 102  
ALEXANDRIA, MN 56308

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CHECKED BY: A.STENSENG DATE: 8/11/2023  
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SCALE: AS SHOWN  
NWS PROJECT NO. 23329

REV#	DESCRIPTION	DATE

DRAWING NO.  
**C-5**  
REV. NO.  
**0**

GRADING



BEARINGS ARE BASED ON NAD83(96)  
CARLTON COUNTY COORDINATE SYSTEM

**LEGEND**

- EXISTING
- CENTERLINE
  - UNDERGROUND ELECTRIC WITH TRANSFORMER
  - SD --- STORM SEWER CATCH BASIN
- PROPOSED
- > SANITARY SERVICE PROPOSED
  - WATERMAIN PROPOSED

LAND SURVEYING  
UTILITY LOCATION  
UTILITY MAPPING  
3-D LASER SCANNING  
3-D MODELING

**NORTHWESTERN**  
SURVEYING & ENGINEERING, INC.  
P.O. Box 3067 - Bemidji, Minnesota - 56619

ENGINEERING

PIPELINE SERVICES  
ENVIRONMENTAL INSPECTION  
CONSTRUCTION MANAGEMENT

VOSB

PREPARED FOR:

**RINGDAHL**  
Architects

RINGDAHL ARCHITECTS, INC.  
510 22nd AVE E, SUITE 102  
ALEXANDRIA, MN 56308

DRAWN BY: K.NYHUSIEN DATE: 8/11/2023  
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 NWSE PROJECT NO. 23329

REV#	DESCRIPTION	DATE

DRAWING NO.  
**C-6**

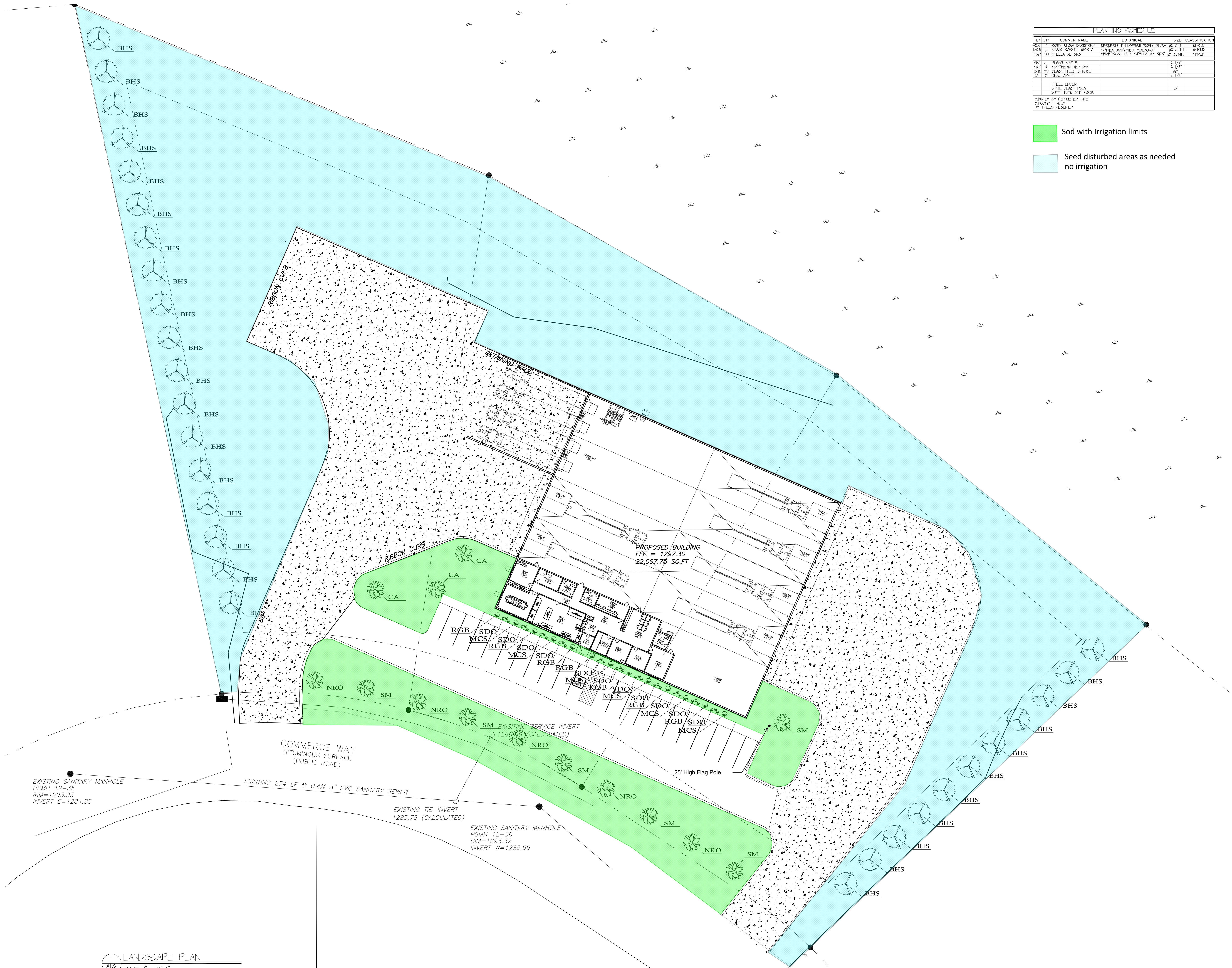
REV. NO.  
**0**

UTILITIES

PLANTING SCHEDULE				
KEY QTY	COMMON NAME	BOTANICAL	SIZE	CLASSIFICATION
REP 1	ROSY GLOW BARBERRY	BERRBERIS THUNBERGII	ROSY GLOW #2 CONT	SHRUB
MCS 4	MAGIC CARPET SPIREA	SPIREA ANTONICA WALDMAN	#2 CONT	SHRUB
REP 22	STELLA DE ORO	HEMERCALLIS X STELLA DE ORO	#2 CONT	SHRUB
SM 4	SUGAR MAPLE		1 1/2"	
NRO 5	NORTHERN RED OAK		1 1/2"	
BHS 23	BLACK HILLS SPRUCE		40"	
CA 3	CRAB APPLE		1 1/2"	
	STEEL EDGER			
	# ML BLACK POLY		15"	
	RIFT LAMINATION PEEK			

2.134 LF OF PERIMETER SITE  
2.136/80 = 48.7  
48 TREES REQUIRED

- Sod with Irrigation limits
- Seed disturbed areas as needed no irrigation



**LANDSCAPE PLAN**

ISSUE FOR:	ISSUE DATE:
OWNER REVIEW	8/23/2023
OWNER REVIEW	7/13/2023
OWNER REVIEW	7/13/2023
SITE PLAN	7/13/2023
PRELIMINARY PLANS	8/11/2023
PLANNING AND ZONING REVIEW	8/14/2023

I CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A FULLY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Handwritten Signature*  
DATE: 8/14/2023 REG NO: \_\_\_\_\_

COMMISSION NO:	2319
DRAWN BY:	DLT
CHECKED BY:	PDR
DATE:	7/11/2023

DRAWING NO:  
**A1.0**

EXTERIOR FINISH SCHEDULE			
SYMBOL	BASE MATERIAL	FINISH	REMARKS
A	METAL ROOF	-	-
B	WINDOW	PREFINISHED	-
C	FM DOOR/FRAME	PAINT	-
D	CORNER TRIM	PREFINISHED	-
E	METAL ROOF EDGE/ SOFFIT/FASCIA	PREFINISHED	-
F	ALUMINUM DOOR	PREFINISHED	-
G	METAL SIDING 1	PREFINISHED	FOX GREY
H	METAL SIDING 2	PREFINISHED	DARK GREY
I	METAL SIDING 3	PREFINISHED	BRICK RED
J	OVERHEAD DOOR	PREFINISHED	-
K	LIGHT FIXTURE	PREFINISHED	SEE ELEC.
L	PREFINISHED CANOPY	-	-
M	6" PIPE ROLLER (CONC. FILLED)	PAINT	-
N	SIGNAGE	PREFINISHED	-
O	MECHANICAL LOUVER/FAN	PREFINISHED	-

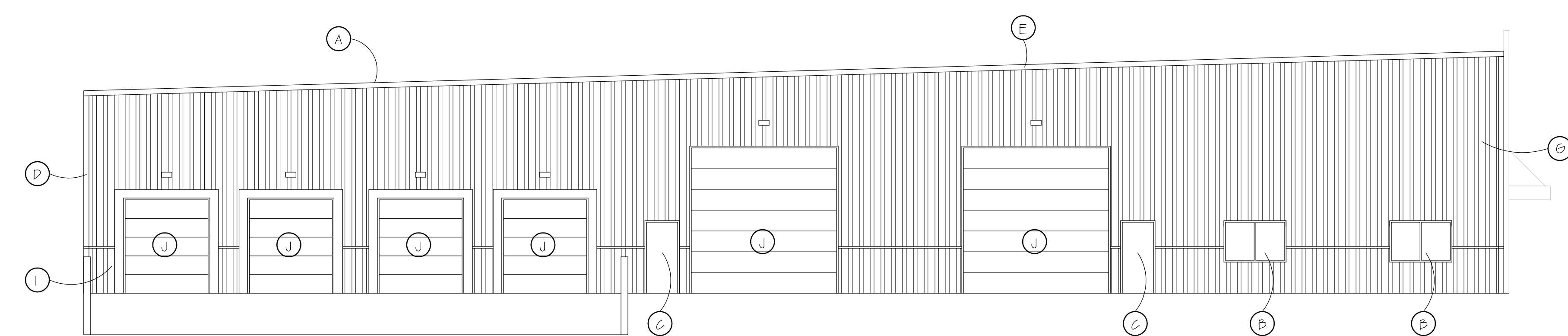
NOTES:  
1. COLOR AND FINISH SELECTIONS BY ARCHITECT.  
2. PAINT ALL LOUVERS, GRILLS, PIPES AND EQUIPMENT TO MATCH ADJACENT WALL/ROOF/SOFFIT SURFACE UNLESS NOTED OTHERWISE.  
3. REFER TO MECHANICAL AND ELECTRICAL FOR ADDITIONAL INFORMATION AND EQUIPMENT.  
4. REFER TO SITE PLAN FOR ADDITIONAL INFORMATION.

**RINGDAHL**  
Architects, Inc.

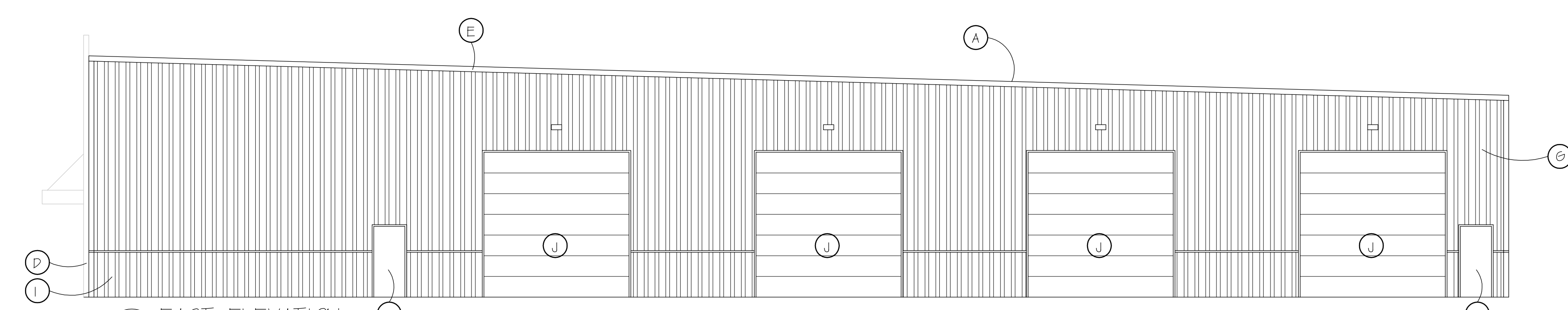
**Easton Place**  
510 22nd Ave. East, Suite 102  
Alexandria, MN 56308  
ph. (320) 763-9368  
fax (320) 762-9063

**STRACK**  
construction, inc.

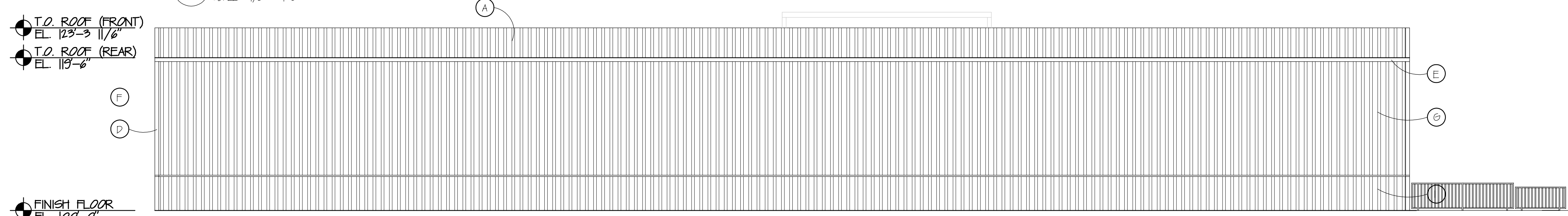
**C&L DISTRIBUTING**  
WAREHOUSE/OFFICE  
CLOQUET, MN



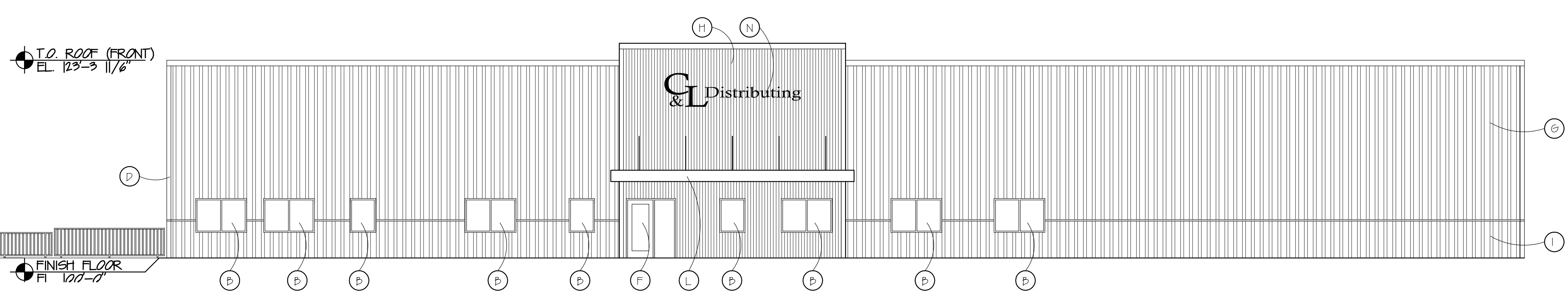
3 WEST ELEVATION  
A2.1 SCALE: 1/8" = 1'-0"



3 EAST ELEVATION  
A2.1 SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION  
A2.1 SCALE: 1/8" = 1'-0"



1 SOUTH ELEVATION  
A2.1 SCALE: 1/8" = 1'-0"

**ELEVATIONS**

ISSUE FOR:	ISSUE DATE:
OWNER REVIEW	8/21/2023
OWNER REVIEW	7/3/2023
OWNER REVIEW	7/13/2023
SITE PLAN	7/25/2023
PRELIMINARY PLANS	8/11/2023
PLANNING AND ZONING REVIEW	8/14/2023

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*Neal Ringdahl*  
DATE: 8/14/2023 REG. NO. \_\_\_\_\_

COMMISSION NO.	2319
DRAWN BY:	DLT
CHECKED BY:	PDR
DATE:	7/11/2023

DRAWING NO:  
**A2.1**