



Regular Meeting of the Planning Commission

Tuesday, July 9, 2024

7 pm Regular Meeting

101 14th Street, Cloquet, MN 55720

AGENDA

1. Call to Order
2. Roll Call
3. Additions/Changes to the Agenda
4. Minutes from the June 11, 2024, Planning Commission meeting
- _____
5. Zoning Case 24-14; Woods & Water Family Dental, Land Sale
- _____
6. Zoning Case 24-13; Woods & Water Family Dental, Site Plan
- _____
7. Commissioner's Questions/Comments
8. Adjourn

NEXT MEETING:

August Planning Commission meeting date to be rescheduled due to primary election on Tuesday, August 13th, 2024



Regular Meeting of the Planning Commission

Tuesday, July 9, 2024

7:00 p.m.

101 14th Street, Cloquet, MN 55720

CALL TO ORDER

Terri Lyytinen called the meeting to order at 7:00 p.m.

ROLL CALL

Attending: Planning Commission members: Terri Lyytinen, Philip Demers, Brittany Kuschel and Michelle Wick; City: John Kelley.

Absent: Elizabeth Polling.

Others Present: James Kuklis, Angela Tate, Dan Unuluck

AGENDA ITEMS

Additions/Changes to the Agenda

None.

May 14, 2024, Meeting Minutes

Chairperson Lyytinen asked for any corrections or additions.

Motion: Commissioner Demers made a motion to approve the Planning Commission meeting minutes from May 14, 2024, Commissioner Kuschel seconded. (Motion was approved 4-0).

Zoning Case 24-12: James Kuklis, Conditional Use Permit

Chairperson Lyytinen introduced Zoning Case 24-12, M Conditional Use Permit to allow 2 - two-family dwellings in the R1 – Single-Family Residence District and opened the public hearing. She asked Mr. Kelley to provide an overview. Mr. Kelley stated James Kuklis would like to construct 2 new two-family dwelling, one on a lot facing 16th Street and one on a lot facing unconstructed 15th Street. The conditional use permit is for a two-family dwelling in the R1 – Single-Family Residence District. The property is currently vacant. This is a public hearing and a legal notice was published in the Pine Knot on May 31, 2024, and property owners within 350 feet were sent notices of the public hearing. Mr. Kuklis was present to answer any questions.

Angela Aebly, 1601 Wilson Street, inquired about the ownership of the two-family dwellings and if they will be rentals or privately owned.



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Mr. Kuklis responded that the homes could possibly be for sale when completed. Commissioners recognized the need for housing in Cloquet.

Dan Unuluck, 1001 15th Street inquired about the use of the unimproved portion of 15th Street to access one of the two-family homes. Mr. Unuluck asked if the street would be constructed and if heavy equipment would be used.

Mr. Kuklis responded that that the unimproved portion of 15 Street would have a driveway constructed within it to access the two-family home.

There being no further discussion Chairperson Lyytinen closed the public hearing and called for a motion.

Motion: Commissioner Kuschel made a motion recommending approval to the City Council of the Conditional Use Permit to allow 2 - two-family dwellings in the R1 – Single-Family Residence for James Kuklis subject to the conditions in the draft Resolution, Commissioner Wick seconded. (Motion passed 4-0)

Mr. Cottingham stated this would go to the City Council at their meeting on Monday June 17th at 6:00 pm.

Homeless Shelter/Housing Discussion

Chairperson Lyytinen asked Mr. Kelley to provide an overview of the topic. Mr. Kelley - this matter has been previously discussed with the Commissioners and based on research provided by Al Cottingham, a definition of a “Warming Shelter” has been provided for discussion.

The commission discussed allowing them in churches and the commercial districts as a conditional use permit. Standards for conditional use should consider distances from schools and public parks, operating plans, background checks on people using the facility, and require staffing of the facility while it was open.

Mr. Kelley stated he would speak with the City Attorney about standards for a conditional use permit for Warming Shelters and prepare draft standards for conditional use as a Warming Shelter.



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Commissioner's Questions/Comment

None.

Next Meeting

Tuesday, July 9, 2024

The meeting adjourned 7:35 p.m.

Respectfully submitted,

John Kelley, City Planner/Zoning Administrator

DRAFT



Community Development Department

101 14th Street • Cloquet MN 55720
Phone: 218-879-2507 • Fax: 218-879-6555

To: Planning Commission
From: John Kelley, City Planner/Zoning Administrator
Date: July 2, 2024

**ITEM DESCRIPTION: ZONING CASE 24-14: LAND SALE – Lot 10, Block 5,
Cloquet Business Park**

Background

Woods & Water Family Dental is looking at purchasing Lot 10, Block 5, Cloquet Business Park. Attached is a copy of the aerial photo showing the location of the property. The property is proposed for a Dental Clinic.

State Statute requires that a municipal land sale and its proposed use conform to the Comprehensive Plan for the City. The Planning Commission needs to determine if this proposal is in conformance with the Comprehensive Plan.

Policy Objectives

The proposed development would be to construct a 3,245 square foot family dental clinic in the Cloquet Business Park.

The Comprehensive Plan for this area is “Highway Commercial”. The proposal for office/clinic use is consistent with the Comprehensive Plan.

Financial Impacts

None.

Advisory Committee Action Requested

The Planning Commission should review the Development to see that it conforms to the plans for general development of the city. In simpler terms the Commission needs to be sure the plan conforms to the Comprehensive Plan.

Staff Recommendation

Staff recommends approval of the land sale.

Supporting Documents Attachments

- Resolution No. 24-14
- Location Map
- Site Plan
- Comprehensive Plan Excerpt

STATE OF MINNESOTA

COUNTY OF CARLTON

CITY OF CLOQUET

Commissioner _____ offered the following Resolution and moved its adoption.

RESOLUTION NO. 24-14

A RESOLUTION OF THE CITY OF CLOQUET PLANNING COMMISSION FINDINGS THAT THE WOODS & WATER FAMILY DENTAL CLINIC DEVELOPMENT IN THE CLOQUET BUSINESS PARK CONFORMS TO THE GENERAL PLANS FOR THE DEVELOPMENT OF THE CITY

WHEREAS, the City of Cloquet (the "City") has received a proposal to purchase of Lot 10, Block 5, Cloquet Business Park, in the OM – Office/Manufacturing District and has submitted a plan to the City Planning Commission (the "Commission") pursuant to Minnesota Statutes, and

WHEREAS, the Commission has reviewed the plan to determine their conformity with the general plans for the development of the city as described in the Comprehensive Plan for the City.

NOW, THEREFORE, BE IT RESOLVED by the Commission that the plan conforms to the general plans for the development of the city as a whole.

The foregoing motion was duly seconded by Commissioner _____ and being put to vote members voted: AYE: NAY: ABSENT:

PHILIP DEMERS	<u>AYE</u>	BRITTANY KUSCHEL	<u>AYE</u>
TERRI LYYTINEN	<u>AYE</u>	ELIZABETH POLLING	<u>ABSENT</u>
MICHELLE WICK	<u>AYE</u>		

Passed and adopted this 9th day of July 2024.

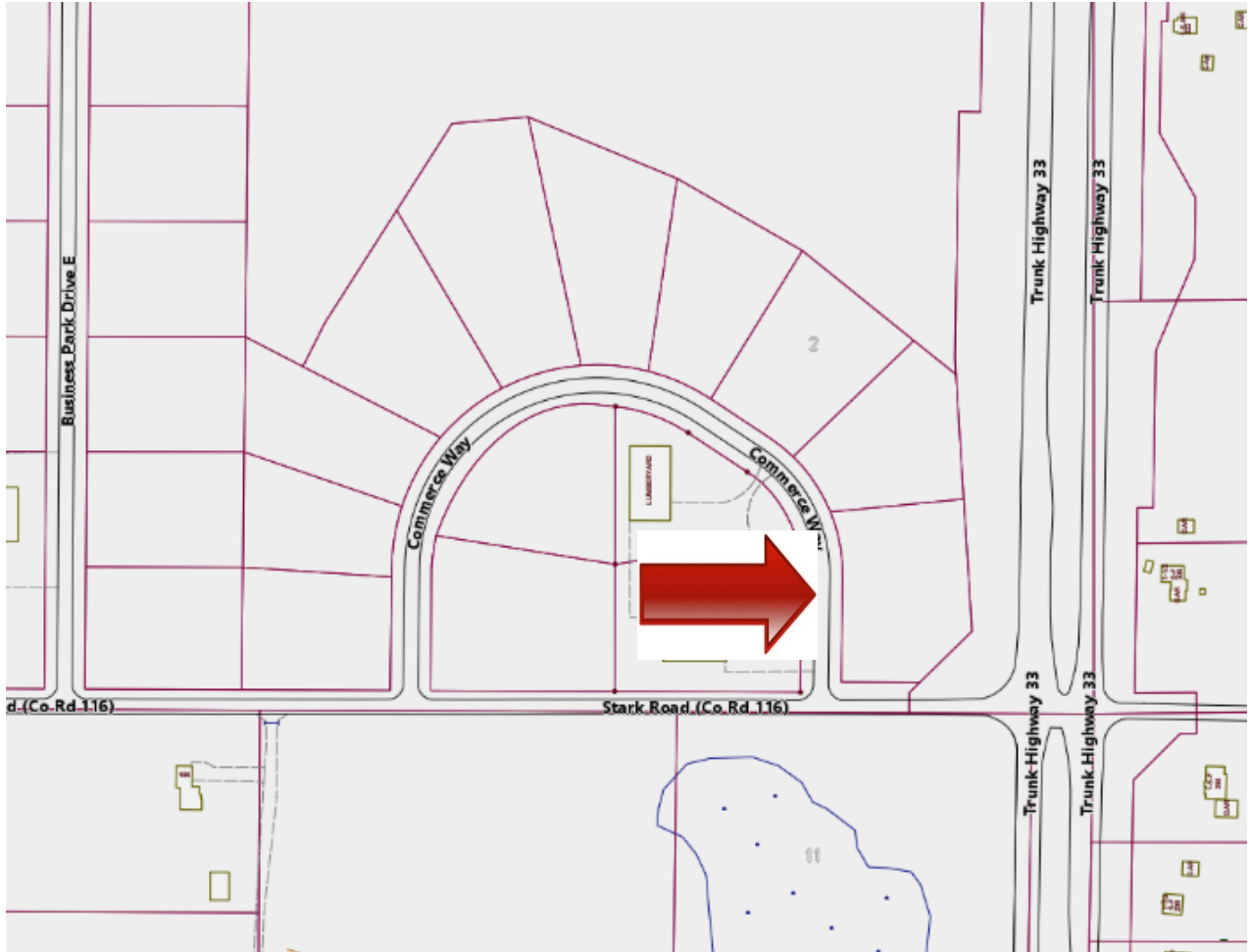
CITY OF CLOQUET

TERRI LYYTINEN
CHAIR

ATTEST: _____
John Kelley
City Planner/Zoning Administrator

LOCATION MAP

Woods & Water Family Dental



NO SCALE

Comprehensive Plan Excerpt

City of Cloquet Comprehensive Plan Chapter 3: Land Use

The Comprehensive Plan also guides the Cloquet Business Park north of Stark Road for highway commercial use. The business park and the future highway commercial use south of the Stark Road should complement each other. Potentially, the business park could accommodate primarily office/showroom/warehouse uses, whereas the future highway commercial use to the south could accommodate primarily retail, restaurants, car dealerships, and motels.

An overarching goal of the Comprehensive Plan is to strengthen the downtown area. Consequently, commercial uses that are more suited for the downtown area should be encouraged to locate in the downtown area, whereas true highway commercial uses should be encouraged to locate along the highway.



Community Development Department

101 14th Street • Cloquet MN 55720
Phone: 218-879-2507 • Fax: 218-879-6555

To: Planning Commission
From: John Kelley, City Planner/Zoning Administrator
Date: July 2, 2024

ITEM DESCRIPTION: ZONING CASE 24-13: SITE PLAN FOR WOODS & WATER FAMILY DENTAL CLINIC AT LOT 10, BLOCK 5, CLOQUET BUSINESS PARK

Background

Woods & Water Family Dental has submitted a Site Plan application. The site is located at Lot 10, Block 5, Cloquet Business Park.

The Site Plan is for a 3,245 square foot building and associated parking, landscaping, grading, drainage and building location.

Site Plan

Attached, the Commission will find the following plans for this development:

- Site Plan
- Grading & Utilities Plan
- Landscape Plan
- Lighting Plan
- Building Elevations
- Floor Plan
- Rendering

Stormwater Management: (Section 18.6)

1. A City issued grading permit is not required for this work based on 30,000 disturbed area shown on the plan.
2. MnDOT may require a drainage discharge permit to route stormwater directly from the parking lot to the ditch along TH33. Please confirm with MnDOT and provide correspondence on the outcome of this discussion.

Impervious Surface: (Section 17.6.11, Subd. 5. E and F)

The zoning district allows the maximum building coverage to be 40% with a maximum impervious surface coverage of 70%. The building coverage is approximately 5.8% and the total impervious surface coverage is approximately 22%.

Building Setbacks: (Section 17.6.11, Subd. 5. B)

The ordinance requires that the minimum front setback from front and corner parcel lines be 35 feet, the minimum side yard setback be 20 feet and the minimum rear yard setback be 30 feet.



Community Development Department

101 14th Street • Cloquet MN 55720
Phone: 218-879-2507 • Fax: 218-879-6555

The proposed building location meets the front, side requirements and rear yard setback requirements.

Landscaping: (Section 17.5.04 Subd. 5., Section 17.5.1 Subd. 7)

The landscape plan shows 19 overstory plantings plus understory trees and shrubs, the site is required to have 19 overstory plantings a minimum of 2.5 inches in diameter in addition to understory trees and shrubs.

Parking: (Section 17.5.11 Subd. 6.)

The site is required to have 17 parking spaces based on 1 parking stall per every 200 sq. ft. of clinic floor area. The site plan shows 25 parking spaces.

Trash Storage: (Section 17.5.15 Subd. 6. E)

The trash storage area is shown on the site plan as an exterior enclosure. The trash storage/enclosure area will need to comply with the design standards in Section 17.5.15 Subd. 6. E.

Signage: (Section 17.5.13 Subd. 14.)

There is signage proposed on the building and on the site as shown on the site plan. All signage will need to meet Ordinance requirements and require sign permits. Any freestanding signage must meet the Ordinance requirements.

Lighting: (Section 17.5.12 Subd. 5. B)

The applicant has provided a photometric plan along with detail sheets for the pole mounted lights in the parking lot which display downward facing fixtures that emit footcandle readings that are compliant with City lighting standards.

Other Site Plan Items:

The Design Standards for the Highway 33 Corridor, Architectural Standards state, “Acceptable primary exterior finish materials shall include: brick, stone, decorative concrete block, EIFS and precast concrete. Wood, high-quality metal (matte finish) or synthetic materials may be acceptable as secondary, trim or accent materials used in combination with a primary material as listed above, provided they do not exceed fifty percent (50%) of any exterior façade which is visible from a ‘public way’. Exceptions will be allowed for high quality synthetic material that mimics brick, masonry, etc. Materials must be durable and properly maintained at all times.” Building elevations show the use of engineered wood siding and trim consisting of LP panel siding on the lower portion of the building and lap siding along the upper portion of the building. Additionally, stone veneer cladding will be installed along portions of all sides of the building. Staff believes that the proposed exterior design for the building meets the design standard requirements.

Policy Objectives

The purpose of this Site Plan Review application is to ensure that this development project is aligned with city development standards.



Community Development Department

101 14th Street • Cloquet MN 55720
Phone: 218-879-2507 • Fax: 218-879-6555

Financial Impacts

The Site Plan fee was paid.

Advisory Committee Action Requested

The Commission should review the Site Plan and consider any comments pertaining to it. Following this review, the Planning Commission can recommend approval of the request, recommend denial of the request or table the request for some additional information.

Staff Recommendation

Staff would recommend approval of the Site Plan subject to at least the conditions in the attached resolution.

Supporting Document Attachments

- Resolution No. 24-13 Site Plan
- Location Map
- Engineer's Memo May 1, 2024
- Site Plan Maps

STATE OF MINNESOTA

COUNTY OF CARLTON

CITY OF CLOQUET

Commissioner _____ offered the following Resolution and moved its adoption.

RESOLUTION NO. 24-13

A RESOLUTION RECOMMENDING APPROVAL OF A SITE PLAN IN THE OM – OFFICE/MANUFACTURING DISTRICT FOR WOODS & WATER FAMILY DENTAL

WHEREAS, Woods & Water Family Dental is proposing a Site Plan in the OM – Office/Manufacturing District for a 3,245 square foot building; and

WHEREAS, the property of the proposed Site Plan is located west of Highway 33 and north Stark Road and is legally described as follows:

Lot 10, Block 5, Cloquet Business Park, Carlton County, Minnesota. And,

WHEREAS, the Planning Commission reviewed the staff report and recommends approval of the Site Plan.

NOW, THEREFORE, BE IT RESOLVED, BY THE PLANNING COMMISSION OF THE CITY OF CLOQUET, MINNESOTA, that the Planning Commission recommends approval of Zoning Case 24-13 for a site plan for Foundation Architects for a 3,245 square foot building subject to the following conditions:

1. Compliance with the Assistant City Engineer’s Memo dated May 1, 2024.
4. The trash storage/enclosure area will need to comply with the design standards in Section 17.5.15 Subd. 6. E.
5. Signage shall comply with the Ordinance requirements.

The foregoing motion was duly seconded by Commissioner _____ and being put to vote members voted: AYE: NAY: ABSENT:

PHILIP DEMERS

BRITTANY KUSCHEL

TERRI LYYTINEN

ELIZABETH POLLING

MICHELLE WICK

Passed and adopted this July 9th day of August 2024.

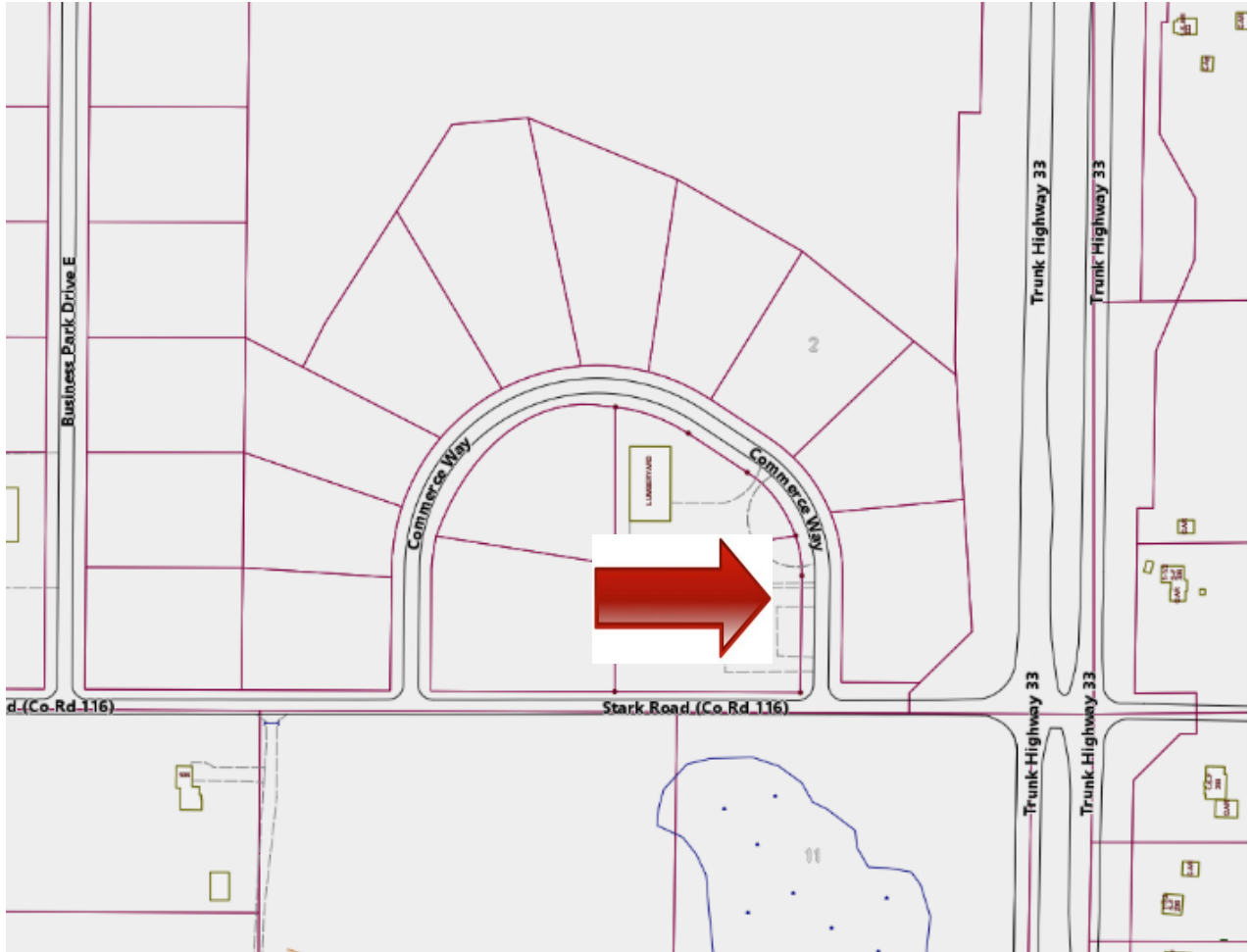
CITY OF CLOQUET

TERRI LYYTINEN
CHAIR

ATTEST: _____
John Kelley
City Planner/Zoning Administrator

LOCATION MAP

Woods & Water Family Dental





DEPARTMENT OF PUBLIC WORKS

101 14th Street; Cloquet, MN 55720
Phone: (218) 879-6758 Fax: (218) 879-6555
Street - Water - Sewer – Engineering - Park
www.cloquetmn.gov

MEMO

To: Al Cottingham, Planner
From: John Anderson, Assistant City Engineer
Date: May 1, 2024

SUBJECT: Woods and Water Dental Site plan review

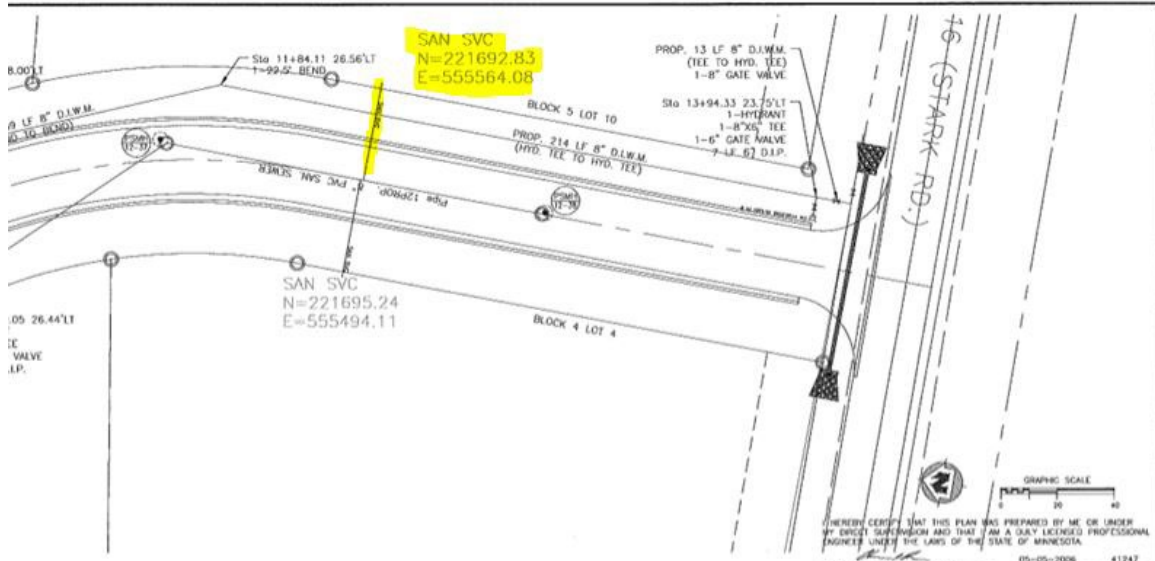
I have reviewed the plans, submitted by Foundation Architects for lot 10, Block 5 at the Cloquet Business Park. The materials submitted include a 14 sheet plan set including, site plan, exterior elevations, photometrics, floor plan, renderings, existing conditions, erosion control, grading, Utilities, and details. The following are my comments on the concept submitted.

Grading Plan and Permit Application

1. A City issued grading permit is not required for this work based on 30,000 disturbed area shown on the plan
2. MnDOT may require a drainage discharge permit to route stormwater directly from the parking lot to the ditch along TH33. Please confirm with MnDOT and provide correspondence on the outcome of this discussion.

Site and Utility Improvements

1. Sewer and water connections for the building will require permit applications and the associated fees.
2. A sewer stub should be in place and extended to the ROW for this lot (see attached). Sanitary sewer services greater than 100 feet in length require a cleanout.
3. The watermain is behind the curb and will require a tap be installed to serve the building as shown on the plans. A 2" HDPE water service (with tracer wire) would be acceptable in place of copper
4. If it is necessary to provide fire protection to the building we recommend that two water taps are made, one to provide domestic water and one to serve the fire suppression system.
5. Typically, site improvements within the Business Park are required to include concrete curbing



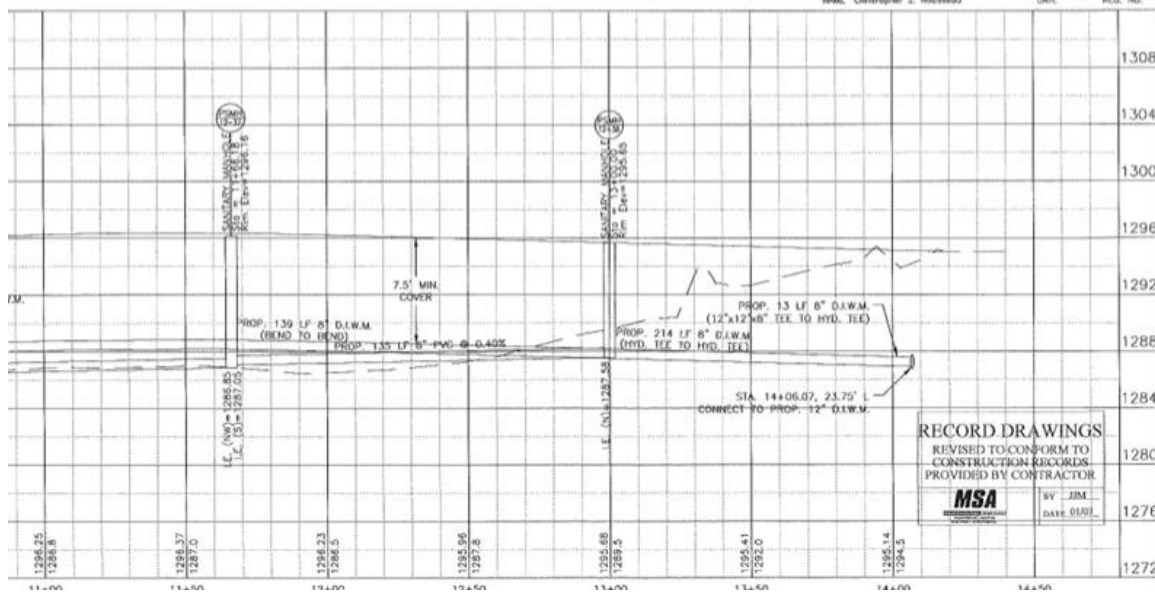
MSA
MUNICIPALITY - MSA
CLOQUET BUSINESS PARK ROAD AND UTILITY CONSTRUCTION
CLOQUET, CARLTON COUNTY, MINNESOTA

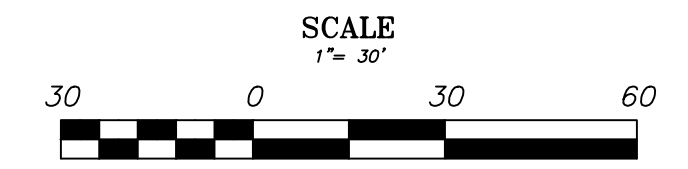
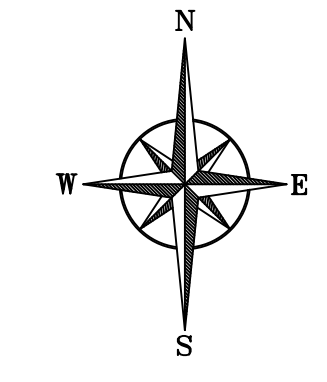
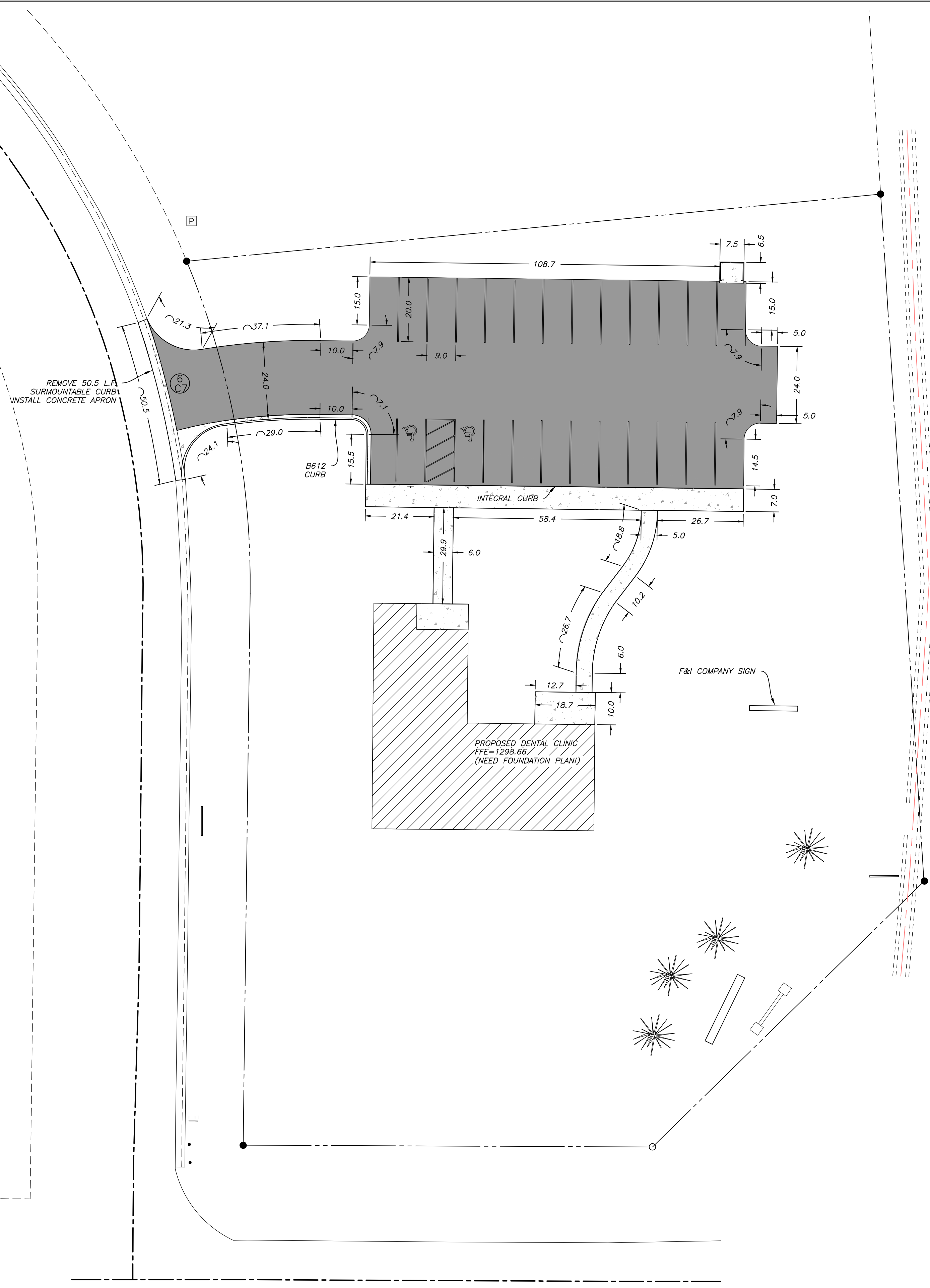
NO.	DATE	DESCRIPTION
1	04/14/08	ISSUED FOR PERMIT
2	03/05/06	ISSUED FOR PERMIT

PLAN NO. 0302021
DATE APRIL 2008
SCALE 1" = 40'

REVISED TO CONFORM TO CONSTRUCTION RECORDS PROVIDED BY CONTRACTOR

MSA
DATE 01/02





BEARINGS ARE BASED ON NAD83(96)
CARLTON COUNTY COORDINATE SYSTEM

LEGEND

- EXISTING FEATURES**
- >>>--->>>--->>>--->>>--->>>--->>> SANITARY SEWER
 - |---|---|---|---|---|---|---|---|---|--- WATERMAIN
- PROPOSED PARKING SYMBOLS**
- [Symbol] PARKING STALL LAYOUT
 - [Symbol] HANDICAP PARKING STALL
 - [Symbol] HANDICAP SIGN
- PROPOSED SITE FEATURES**
- [Shaded Area] PROPOSED BITUMINOUS
 - [Dashed Line] PROPOSED CONCRETE SURFACE
 - [Hatched Area] PROPOSED BUILDING

I HEREBY CERTIFY THAT THIS PLAN SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

AMY I. STENSENG
REGISTERED PROFESSIONAL ENGINEER NO. 53149
DATE OF CERTIFICATION: _____

SITE PLAN

LAND SURVEYING
UTILITY MAPPING
UTILITY LOCATION
3-D LASER SCANNING
3-D MODELING

NORTHWESTERN
SURVEYING & ENGINEERING, INC.
P.O. Box 3067 - Bemidji Minnesota - 56619

ENVIRONMENTAL INSPECTION
CONSTRUCTION MANAGEMENT

ENGINEERING

PIPELINE SERVICES

PREPARED FOR:

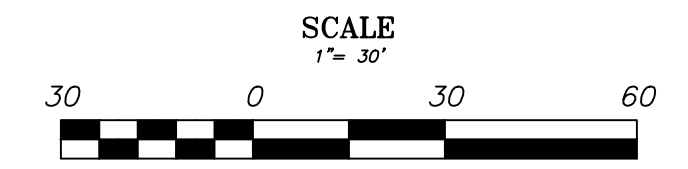
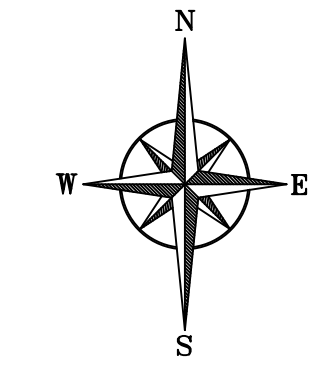
FOUNDATION ARCHITECTS

THE FOUNDATION ARCHITECTS
901 NORTH THIRD STREET
SUITE 135
MINNEAPOLIS, MN 55401

DRAWN BY: K. NYHUSWEN	DATE: 5/22/2024
GRADING BY: M. STANG	DATE: 5/22/2024
CHECKED BY: A. STENSENG	DATE: 5/22/2024
CAD DATA FILE: S:/4307/WOODS AND WATER DENTAL CLINIC.DWG	
SCALE: AS SHOWN	
NWSE PROJECT NO. 24301	

REV#	DESCRIPTION	DATE

DRAWING NO. **C-4**
REV. NO. **0**



BEARINGS ARE BASED ON NAD83(96)
CARLTON COUNTY COORDINATE SYSTEM

LEGEND

- EXISTING FEATURES**
- - - - - SANITARY SEWER
 - - - - - WATERMAIN
- PROPOSED PARKING SYMBOLS**
- [Symbol] PARKING STALL LAYOUT
 - [Symbol] HANDICAP PARKING STALL
 - [Symbol] HANDICAP SIGN
- PROPOSED SITE FEATURES**
- [Hatched Box] PROPOSED BITUMINOUS
 - [Dotted Box] PROPOSED CONCRETE SURFACE
 - [Hatched Box] PROPOSED BUILDING

LAND SURVEYING
UTILITY MAPPING
3-D LASER SCANNING
3-D MODELING

NORTHWESTERN
SURVEYING & ENGINEERING, INC.
P.O. Box 3067 - Bemidji Minnesota - 56619

VOSB
cVe

ENGINEERING
PIPELINE SERVICES
ENVIRONMENTAL INSPECTION
CONSTRUCTION MANAGEMENT

PREPARED FOR:

f FOUNDATION ARCHITECTS
THE FOUNDATION ARCHITECTS
901 NORTH THIRD STREET
SUITE 135
MINNEAPOLIS, MN 55401

DRAWN BY: K.NYHUSWEN DATE: 5/22/2024
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CHECKED BY: A.STENSENG DATE: 5/22/2024
CAD DATA FILE: S:/4307/WOODS AND WATER DENTAL CLINIC.DWG
SCALE: AS SHOWN
NWS PROJECT NO. 24301

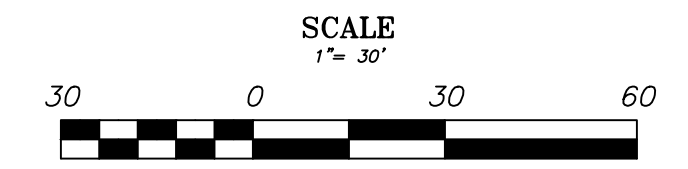
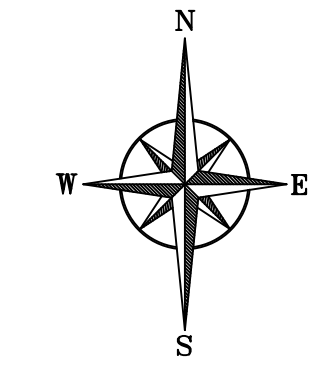
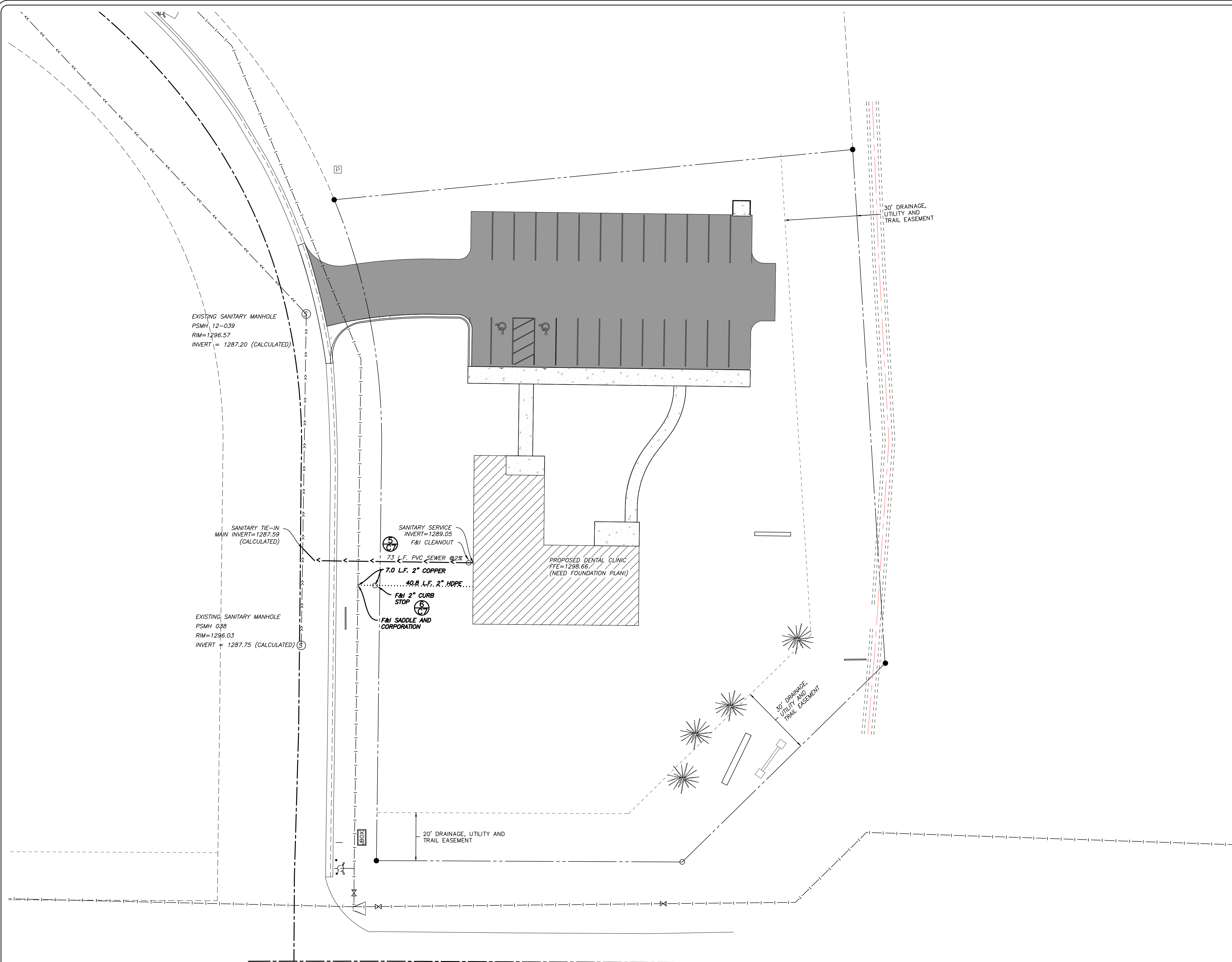
REV#	DESCRIPTION	DATE

DRAWING NO. **C-5**
REV. NO. **0**

I HEREBY CERTIFY THAT THIS PLAN SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

AMY I. STENSENG
REGISTERED PROFESSIONAL ENGINEER NO. 53149
DATE OF CERTIFICATION: _____

GRADING



BEARINGS ARE BASED ON NAD83(96)
CARLTON COUNTY COORDINATE SYSTEM

LEGEND

- EXISTING
- >>>>>> SANITARY SERVICE EXISTING
 - WATERMAIN EXISTING
- PROPOSED
- >>>>>> SANITARY SERVICE PROPOSED
 - WATER SERVICE PROPOSED

LAND SURVEYING
NORTHWESTERN
SURVEYING & ENGINEERING, INC.
P.O. Box 3067 - Bemidji Minnesota - 56619



PREPARED FOR:
f FOUNDATION ARCHITECTS
THE FOUNDATION ARCHITECTS
901 NORTH THIRD STREET
SUITE 135
MINNEAPOLIS, MN 55401

DRAWN BY: K.NHUSMEN DATE: 5/22/2024
GRADING BY: M.STANG DATE: 5/22/2024
CHECKED BY: A.STENSENG DATE: 5/22/2024
CAD DATA FILE: S:/4301/WOODS AND WATER DENTAL CLINIC.DWG
SCALE: AS SHOWN
NWSE PROJECT NO. 24301

REV#	DESCRIPTION	DATE

DRAWING NO. C-6
REV. NO. 0

I HEREBY CERTIFY THAT THIS PLAN SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

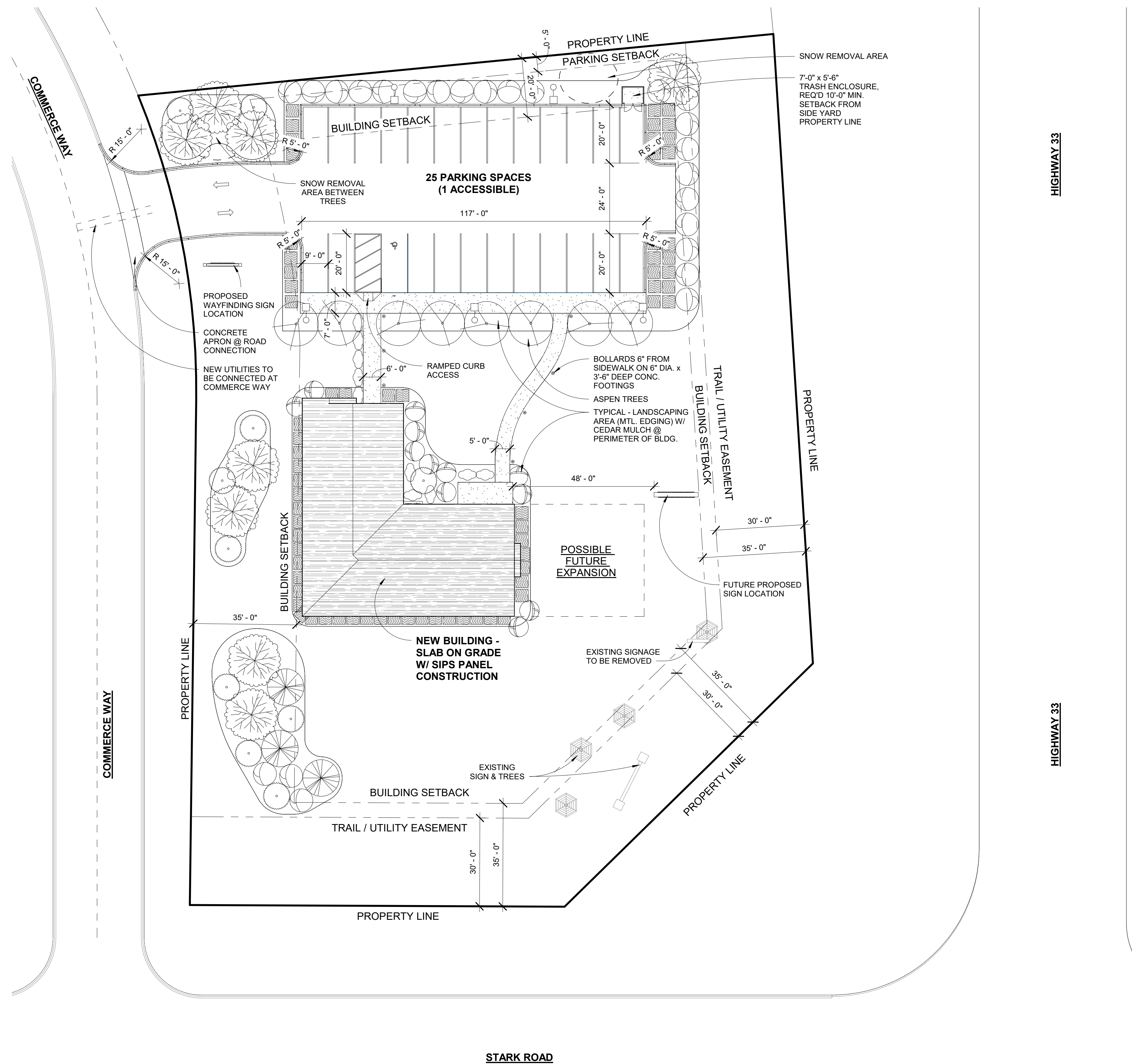
AMY I. STENSENG
REGISTERED PROFESSIONAL ENGINEER NO. 53149
DATE OF CERTIFICATION: _____

UTILITIES

SITE LEGEND				
SYMBOL	DESCRIPTION	SIZE	CONTAINER	QTY.
	QUAKING ASPEN	2.5" CAL.	B&B	8
	RED MAPLE	2.5" CAL.	B&B	8
	PAPER BIRCH	2.5" CAL.	B&B	3
	CANADIAN YEW	2.5" CAL.	B&B	10
	AMERICAN CRANBERRY BUSH	5 GAL.	POT	24
	RED-OSIER DOGWOOD	2 GAL.	POT	12
	FEATHER REED GRASS	1 GAL.	POT	68
	WALKERS LOW CATMINT	1 GAL.	POT	10
	ADA PARKING			
	BOLLARDS W/ INTEGRATED LIGHTING			
	STANDARD PARKING LIGHTS			

NOTE: HYDRO-SEEDED LAWN FOR NEW GRASS SEED MIX, AS PER CITY RECOMMENDATIONS. EXTENT TO BE DETERMINED.

ZONING
ZONING: O/M
SPECIALTY: HIGHWAY 33 CORRIDOR
LOT SIZE: 56,119 SF
BUILDING SIZE (GROSS): 3,245 SF
BUILDING PERCENTAGE OF SITE: 5.8%
BUILDING SETBACKS:
FRONT LOT (4 SIDES): 35 FT
SIDE LOT (1 SIDE): 20 FT
ACCESSORY BUILDING SETBACK: 10 FT
TRASH ENCLOSURE: <50 SF
SITE PERIPHERY: 953'-9"
MINIMUM NUMBER OF OVERSTORY TREES TO BE PLANTED ON SITE (PERIPHERY / FACTOR OF 50) = 19 MIN.
OVERSTORY TREES PROVIDED = 19
TOTAL NEW TREES PROVIDED = 29
MINIMUM NUMBER OF EVERGREEN TREES TO BE PLANTED ON SITE (33% - 67% OF TOTAL TREES) = 10
EVERGREEN TREES PROVIDED = 10



1 SCHEMATIC SITE PLAN
 A1 1" = 20'-0" 0 10' 20' 40'

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision and that I am a duly registered architect under the laws of the state of Minnesota

Robert A. Shaffer

Robert A. Shaffer
 Date 05/30/2024 Reg. No. 20803

WOODS & WATER FAMILY DENTAL
 CLOQUET BUSINESS PARK - LOT 10, BLOCK 5
 COMMERCE WAY
 CLOQUET, MN 55720

DR. WENDY PETERSON

copyright 2023

SITE & SIGNAGE PLAN

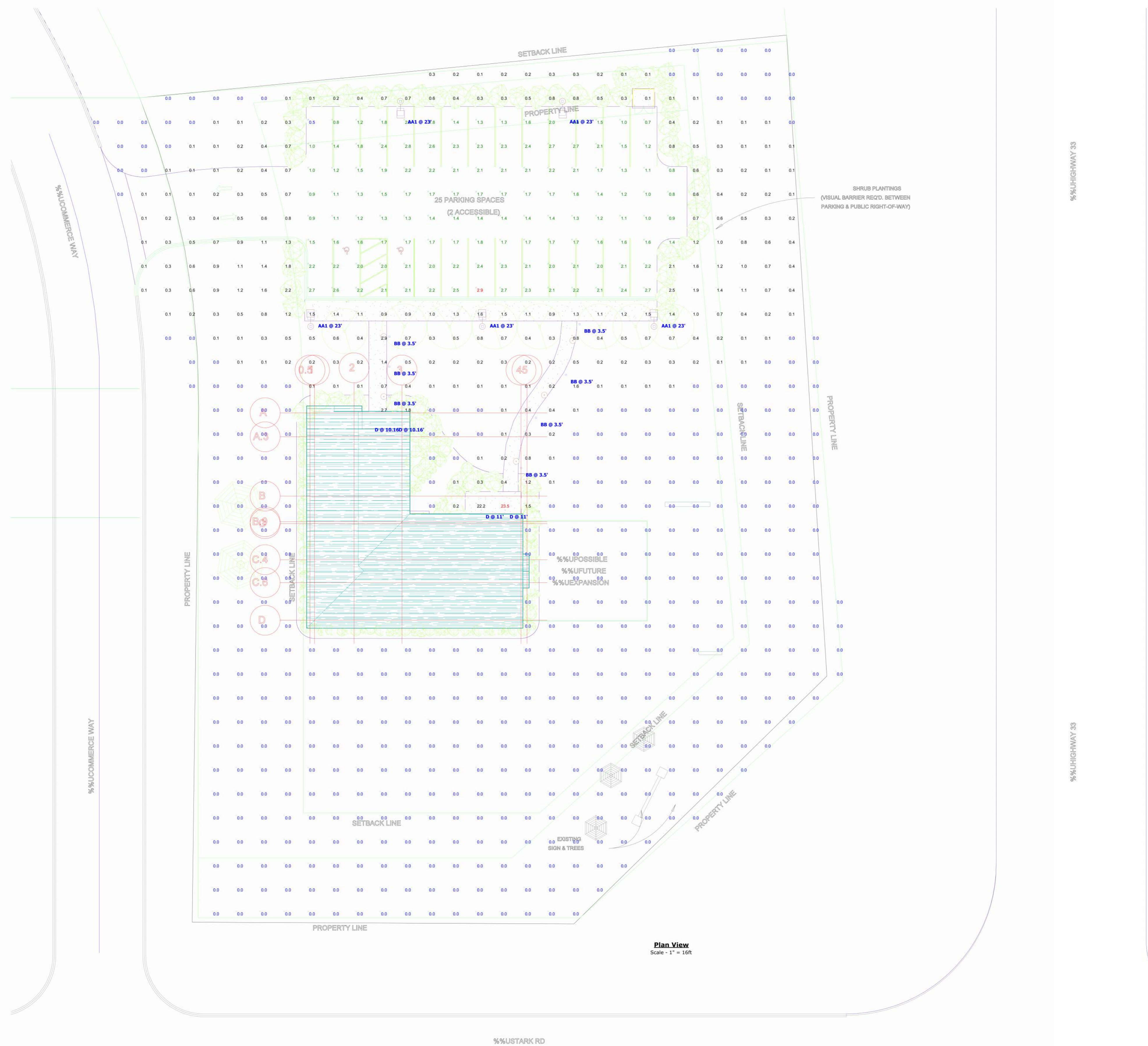
Date 07-01-2024
 Project Number 24-03

Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
AA1	5	Lithonia Lighting	RSX1 LED P1 40K R4 HS	RSX LED Area Luminaire Size 1 P1 Lumen Package 4000K CCT Type R4 Distribution with H5 shield	1	4725	0.9	51.34	
BB	7	FC Lighting	FCB6C	FCB6C-36N02-UNV-39-4K-5L-XX-LD	1	522	0.9	30	
D	4	TROY-CSL LIGHTING INC	CSL - Acrobat 3" Fixed #A3-SMC-R-ST...-35-90-50-CL		1	1702	0.9	21.4	

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Total Area Calculated @ Grade	+	0.5 fc	23.5 fc	0.0 fc	N/A	N/A
Parking Area	X	1.7 fc	2.9 fc	0.5 fc	5.8:1	3.4:1

Note

- Davis and Associates, Inc does not assume responsibility for the interpretation of this calculation, or compliance to local or state lighting codes and ordinances.
- All readings/calculations are shown @ grade.
- Fixture heights "AA1" is on a 20' pole with a 3' base, "BB" mounted @ grade, "D" 9' 0" A.F.G.



Plan View
Scale - 1" = 16ft



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www.foundationarch.com
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Robert A. Shaffer
Date 05/30/2024 Reg. No. 20803

WOODS & WATER FAMILY DENTAL
CLOQUET BUSINESS PARK - LOT 10, BLOCK 5
COMMERCE WAY
CLOQUET, MN 55720

DR. WENDY PETERSON

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**PHOTOMETRIC
PLAN**

Date 07-01-2024
Project Number 24-03



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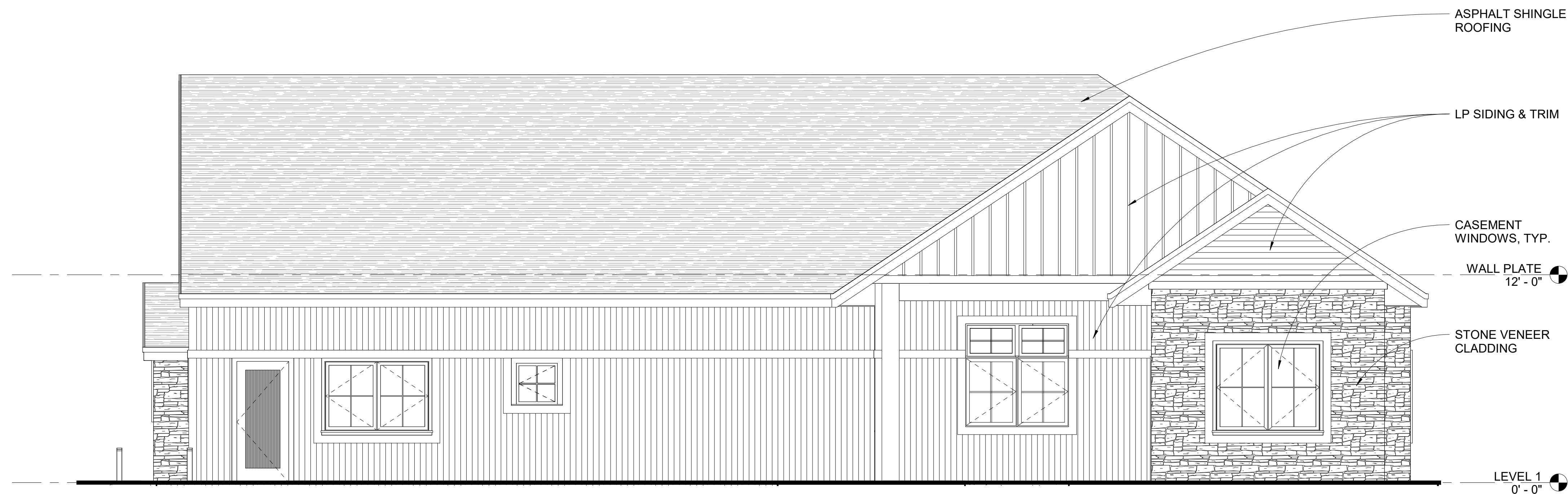
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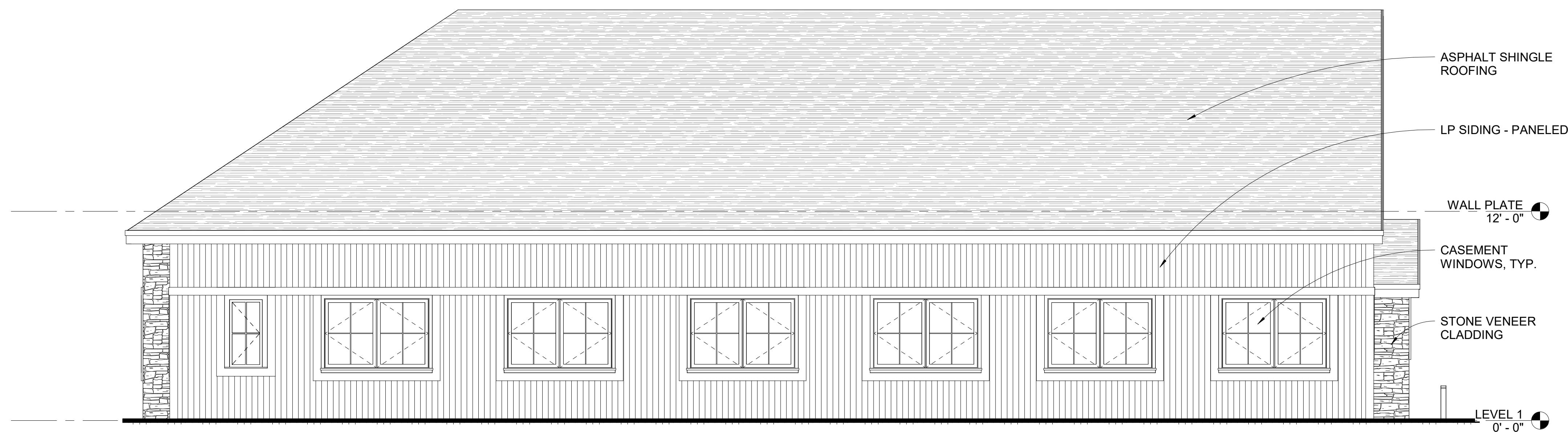
**EXTERIOR
ELEVATIONS**

Date 07-01-2024
Project Number 24-03

A3



1 SCHEMATIC ELEVATION - NORTH
A3 1/4" = 1'-0"



2 SCHEMATIC ELEVATION - SOUTH
A3 1/4" = 1'-0"



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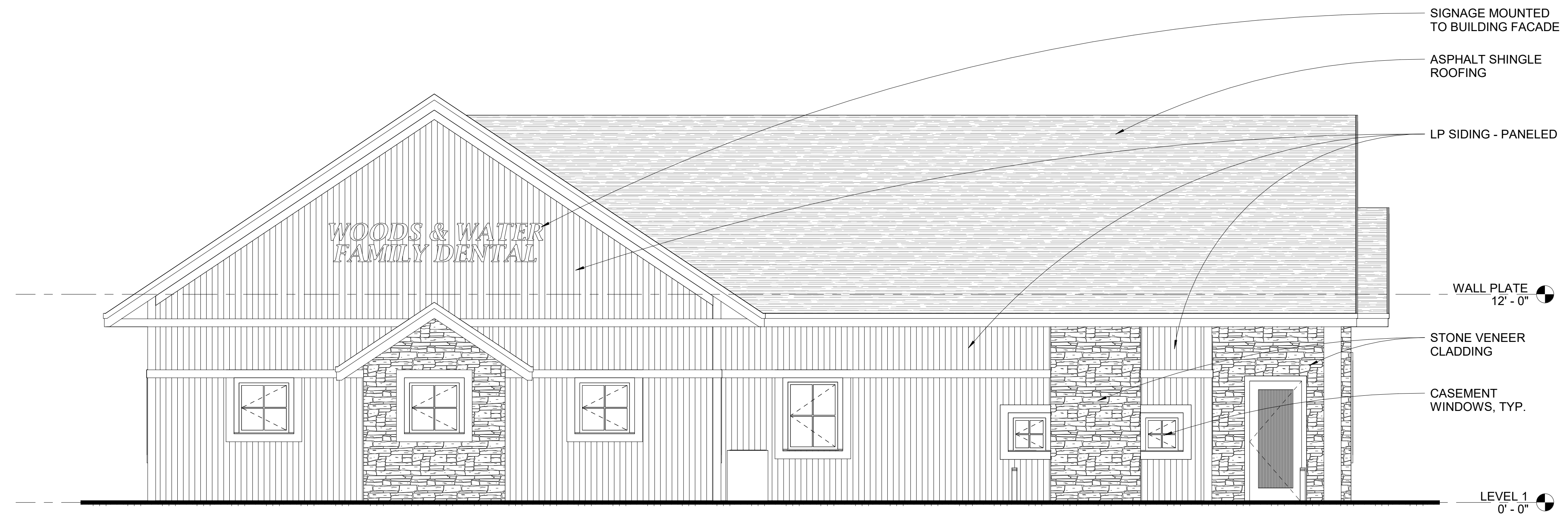
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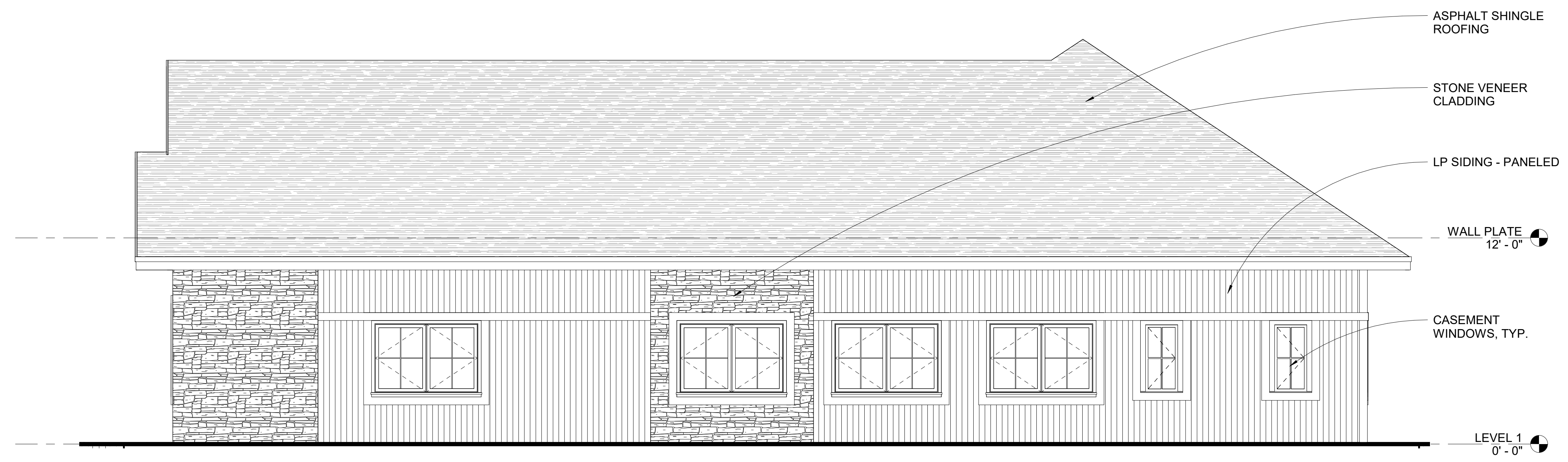
EXTERIOR ELEVATIONS

Date 07-01-2024
Project Number 24-03

A4



1 SCHEMATIC ELEVATION - EAST
A4 1/4" = 1'-0"



2 SCHEMATIC ELEVATION - WEST
A4 1/4" = 1'-0"



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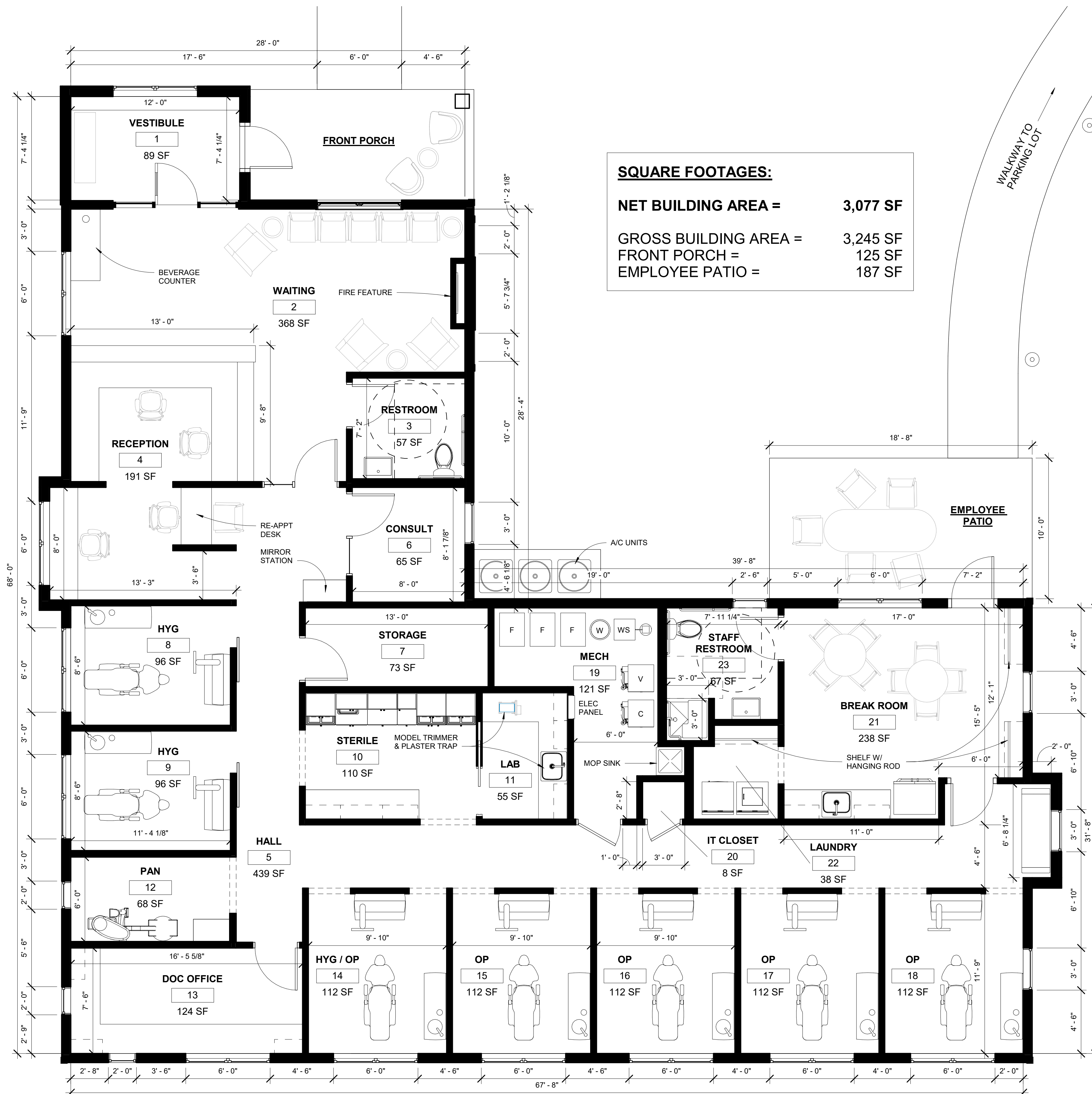
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FLOOR PLAN

Date 07-01-2024
Project Number 24-03



1 SCHEMATIC FLOOR PLAN - OPTION 2
A5 1/4" = 1'-0"

A5



1 RENDERING - FROM COMMERCE WAY
A6 12" = 1'-0"



2 RENDERING - FROM HIGHWAY 33
A6 12" = 1'-0"



3 RENDERING - FROM STARK ROAD
A6 12" = 1'-0"



4 RENDERING - BIRDS EYE VIEW
A6 12" = 1'-0"



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**RENDERED
VIEWS**

Date 07-01-2024
Project Number 24-03

A6